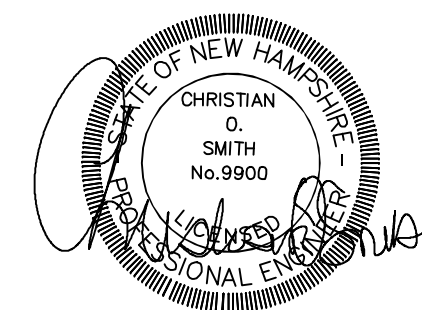


*PROPOSED CONDOMINIUM
SITE PLAN
32 CHARTER STREET
EXETER, NH
TAX MAP 82, LOT 36*

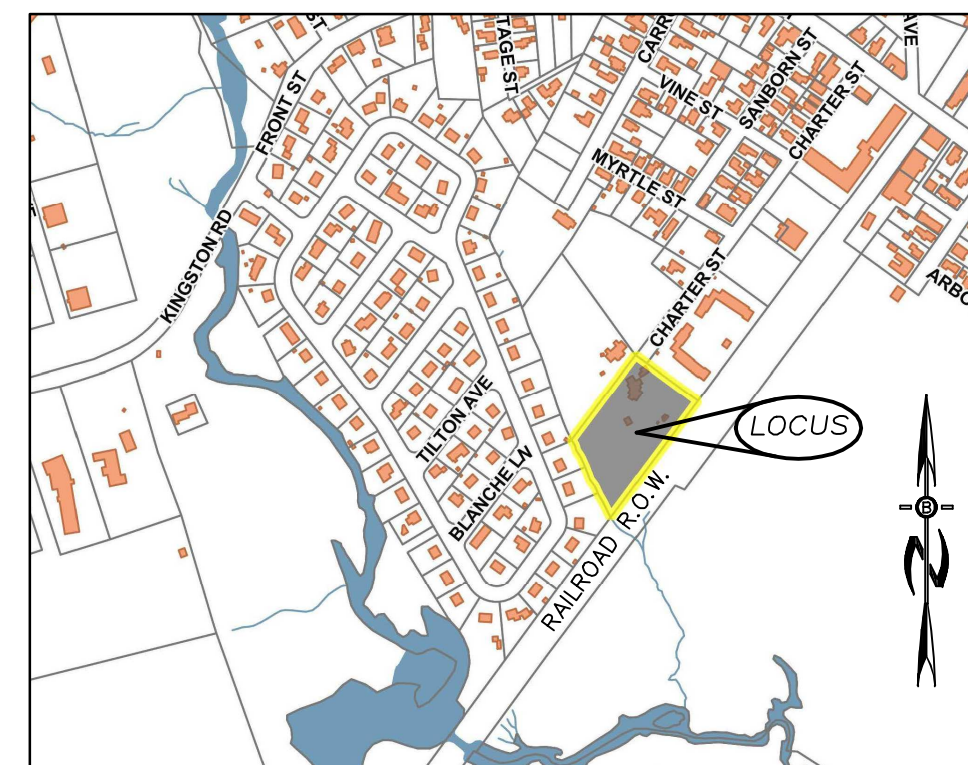
NOT FOR CONSTRUCTION

CIVIL ENGINEERS:

BEALS ASSOCIATES PLLC
70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
PHONE: 603-583-4860, FAX: 603-583-4863



LOCATION MAP



SCALE: 1"=600'

INDEX

TITLE SHEET

- 1 EXISTING CONDITIONS PLAN
- 2 DEMOLITION/EROSION CONTROL PLAN
- 3 PARKING & PAVEMENT PLAN
- 4 UTILITY & DRAINAGE PLAN
- 5 CONSTRUCTION DETAILS SHEET
- 6 EFFLUENT DISPOSAL DETAILS
- 7 EROSION CONTROL DETAILS

LAND SURVEYORS:

DAVID W. VINCENT, LLS
LAND SURVEYING SERVICES
PO BOX 1622
DOVER, NH 03821
TEL/FAX (603) 664-5786

WETLAND / SOIL
CONSULTANT:

GOVE ENVIRONMENTAL SERVICES INC.
8 CONTINENTAL DRIVE,
BLDG 2 UNIT H
EXETER, NH 03833
1-603-778-0644

PLAN SET LEGEND

<ul style="list-style-type: none"> 5/8" REBAR DRILL HOLE CONC. BOUND UTILITY POLE DRAIN MANHOLE SEWER MANHOLE EXISTING LIGHT POLE EXISTING CATCH BASIN PROPOSED CATCH BASIN WATER GATE WATER SHUT OFF HYDRANT PINES, ETC. MAPLES, ETC. EXIST. SPOT GRADE PROP. SPOT GRADE DOUBLE POST SIGN SINGLE POST SIGN 	<ul style="list-style-type: none"> OVERHEAD ELEC. LINE FENCING DRAINAGE LINE SEWER LINE GAS LINE WATER LINE STONE WALL TREE LINE ABUT. PROPERTY LINES EXIST. PROPERTY LINES BUILDING SETBACK LINES EXIST. CONTOUR PROP. CONTOUR SOIL LINES 	<ul style="list-style-type: none"> -----x----- -----D----- -----S----- -----C----- -----W----- -----X----- -----T----- -----D----- -----100----- -----100----- -----D-----
---	--	---

RECORD OWNER

LENORE E. COLEMAN
275 KEARSARGE WAY
PORTSMOUTH, NH 03801
RCRD BK 3511; PG 2576

APPLICANT:

ONE HOME BUILDERS LLC
PO BOX 334
STRATHAM, NH 03885

REQUIRED STATE AND FEDERAL PERMITS
NH-DES WETLANDS BUREAU DREDGE AND FILL
CONSTRUCTION GENERAL PERMIT

PB CASE #21-6

CHAIRMAN SIGNATURE:

	REVISIONS:	DATE:
1	REVISED PER NATURAL RESOURCE PLANNER	7-1-21
2	REVISED PER T.R.C. COMMENTS	8-17-21
3	REVISED PER ENGINEERING REVIEW	9-8-21
4	REVISED PER EFD & CONDITIONS OF APPROVAL	10-8-21
5		

NH-1333 PROPOSED SITE PLAN

Legend:

- OHU Overhead Utilities
- RCRD Rockingham County Registry of Deeds
- Iron Pipe Found
- Iron Rod Found
- Granite Bound Found
- ⊕ Utility Pole
- Building Setback
- D— Approx. Drainage Pipe*
- FM— Approx. Force Main*
- G— Approx. Gas Line*
- S— Approx. Sewer Line*
- W— Approx. Water Line*

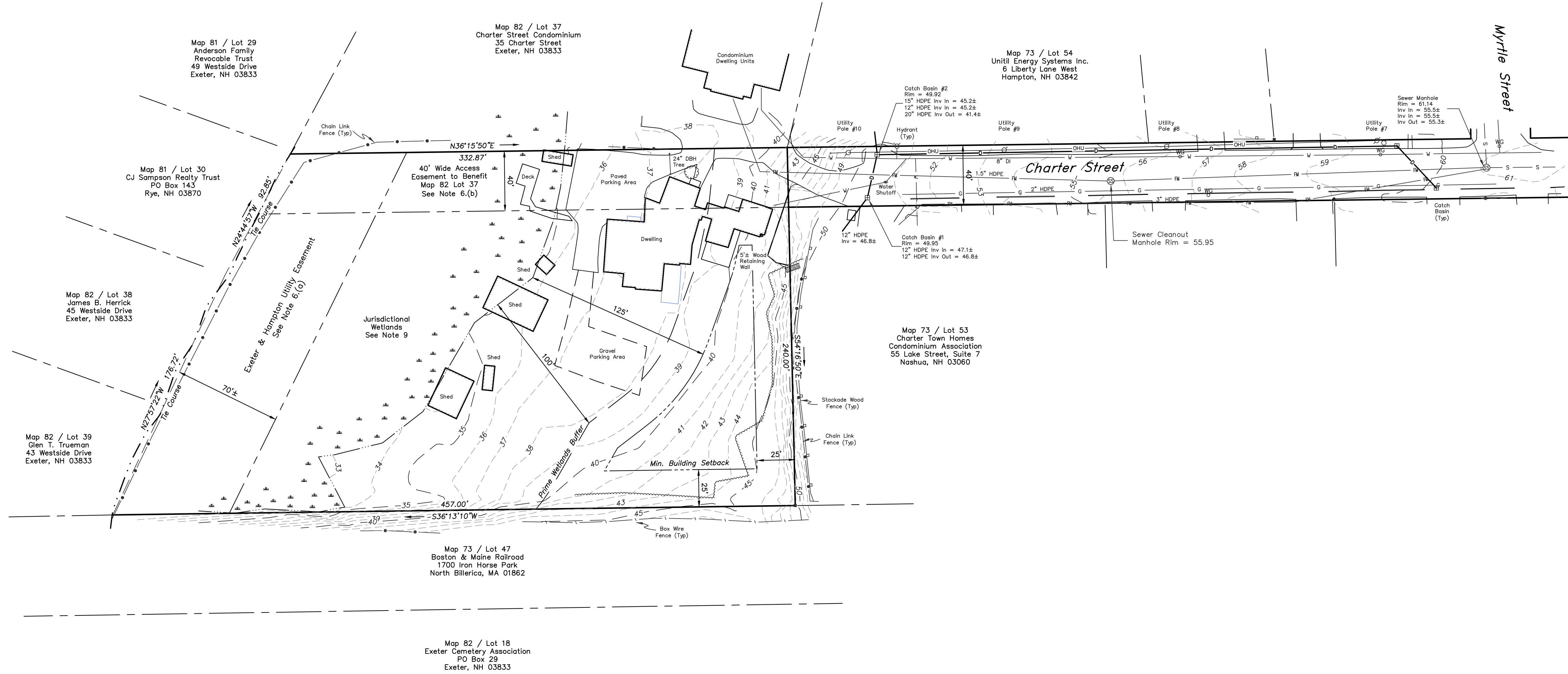
* See 12.

Plan Reference:

"Plat of Land for Lenore E. Coleman, Exeter, NH," dated Feb. 1988, prepared by Parker Survey Assoc. Inc., RCRD Plan No. D-21883.

Notes:

- 1.) The purpose of this plan is to depict the existing conditions of the subject tract at the time of the on the ground survey conducted between January 6, 2021 and January 8, 2021.
- 2.) Field Procedure: Topcon Electronic Total Station Instrument & Carlson Surveyor Plus Data Collector, Adjusted Closed Traverse Performed January 2021, Least Squares Balance.
- 3.) Error of Closure Better Than 1:19,000.
- 4.) Parcel is shown as Lot 36 on Assessor's Map 82.
- 5.) Parcel is located in the Central Area (C1) Zoning District.
- 6.) Owner of Record:
Lenore E. Coleman
275 Keasarge Way
Portsmouth, NH 03801
RCRD Bk 3511, Pg 2576
a.) Parcel is subject to an easement to Exeter & Hampton Electric Co. as described in RCRD Bk 2199, Pg 463.
b.) Parcel is subject to a 40' wide access easement to benefit Map 82, Lot 37 as described in RCRD Bk 1242, Pg 91 and RCRD Bk 1242, Pg 92.
- 7.) This plan does not show any unrecorded or unwritten easements which may exist. A reasonable and diligent attempt has been made to observe any apparent, visible uses of the land; however this does not constitute that no such easements exist.
- 8.) Parcel is not located in a Flood Hazard Zone as depicted on Flood Insurance Rate Map, No. 33015C0402E, Rockingham County, NH, (All Jurisdictions), Effective Date: May 17, 2005.
- 9.) The wetland area shown hereon was field delineated April 29, 2021, by Gove Environmental Services, Inc., of 8 Continental Drive, Building #2, Unit H, Exeter, NH.
- 10.) Record Lot Area: 2.2± Acres
- 11.) Horizontal Datum is based upon NAD83-86 New Hampshire State Plane Coordinates and Vertical Datum is based upon NAVD83.
- 12.) The location of all underground utilities shown are approximate and are based upon above ground visual observations during the field survey and the locations of underground utilities as depicted on the plans provided by the town. The surveyor/engineer does not warranty nor guarantee the location, type or depth of all utilities depicted or not depicted. The contractor or design engineer, prior to the commencement of any construction, shall verify the location of all utilities and contact DIGSAFE at 1-888-344-7233 or dial 811.



R-1 DIMENSIONAL REQUIREMENTS

MIN. LOT AREA	12,000 SF.
MIN. LOT FRONTAGE	100 FT.
MIN. LOT WIDTH	100 FT.

BUILDING SETBACKS:

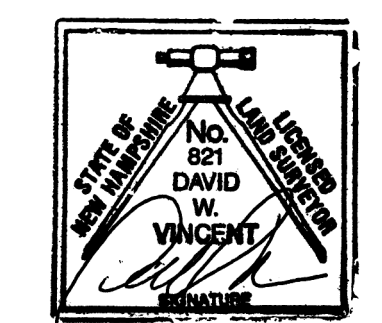
FRONT YARD	25 FT.
SIDE YARD	25 FT.
REAR YARD	25 FT.

WETLAND SETBACKS/BUFFER:

STRUCTURES	75 FT.
SEPTICS & PARKING	75 FT.
BUFFER/NO-DISTURBANCE	40 FT.

PRIME WETLANDS

LIMITED USE BUFFER	100 FT.
PARKING & STRUCTURES	125 FT.



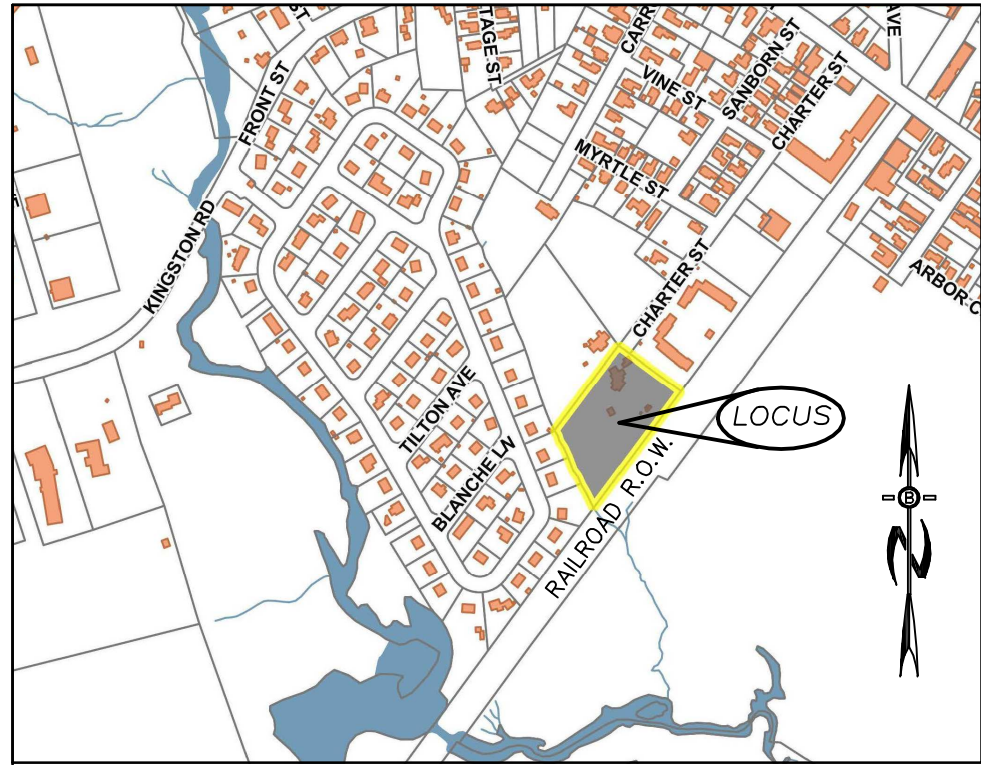
EXISTING CONDITIONS PLAN
 PREPARED FOR
ONE HOME BUILDERS II LLC
 SHOWN AS
TAX MAP 82 / LOT 36
 LOCATED AT
32 CHARTER STREET
 COUNTY OF ROCKINGHAM
EXETER, NH



SCALE: 1" = 40' DATE: MAY 27, 201

DAVID W. VINCENT, LLS
LAND SURVEYING SERVICES
 PO BOX 1622
 DOVER, NH 03821
 TEL/FAX (603) 664-5786
 www.landsurveyingservices.net

NO.	DATE	DESCRIPTION	BY
4			
3			
2	4/18/21	eng review comments	divv
1	8/18/21	eng review comments	divv



LOCATION MAP
SCALE: 1"=600'

LEGEND

- STREET ADDRESS NO.
- UTILITY POLE
- TEST PIT W/ NO.
- STONE WALL
- TREE LINE
- EXISTING CONTOUR - 10'
- EXISTING CONTOUR - 2'
- WETLAND BOUNDARY
- SOILS BOUNDARY LINE
- BUILDING SETBACK LINE
- ABUTTING PROPERTY LINE
- EXISTING PROPERTY LINE



UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER BEALS ASSOCIATES, NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 1-888-DIG-SAFE (1-888-344-7233) AND EXETER DPW (603) 773-6157.

PREPARED FOR:

ONE HOME BUILDERS LLC
PO BOX 334
STRATHAM, NH 03885

BEALS ASSOCIATES PLLC

70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
PHONE: 603-583-4860, FAX: 603-583-4863

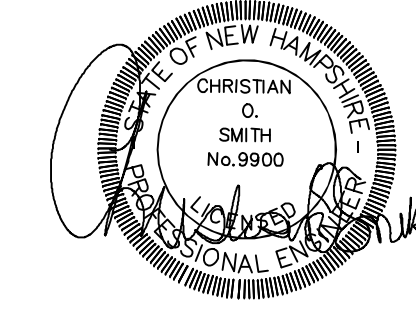
NOTES

1. ALL EXISTING STRUCTURES IN THE CONSTRUCTION AREA SHALL BE REMOVED AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS, UNLESS NOTED TO REMAIN ON THE SITE PLANS. ANY BURNING ON-SITE SHALL BE SUBJECT TO LOCAL ORDINANCES.
2. ALL EXISTING UTILITIES SHALL BE TERMINATED AT THE PROPERTY LINE, OR AS SHOWN ON THE DESIGN PLANS, IN CONFORMANCE WITH LOCAL, STATE AND UTILITY COMPANY STANDARDS, SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES PRIOR TO THE START OF WORK.
3. EROSION AND SEDIMENTATION CONTROLS ARE TO BE INSTALLED PRIOR TO ANY EARTH MOVING ACTIVITIES.
4. A TREE CLEARING PERMIT FROM LOCAL AND STATE AUTHORITIES MAY BE REQUIRED PRIOR TO COMMENCEMENT OF CONSTRUCTION. ALL STUMPS AND DEBRIS ARE TO BE REMOVED FROM SITE.
5. THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG PROPERTY LINES IN ALL AREAS WHERE SILT FENCING IS NOT REQUIRED WHERE CONSTRUCTION IS PROPOSED ADJACENT TO ABUTTING PROPERTIES.
6. EXISTING SEWER SERVICE AND APPURTENANCES TO BE REMOVED AND DISPOSED OF PER TOWN AND STATE REQUIREMENTS. NEW SERVICES FOR EACH UNIT TO BE INSTALLED & CONNECTED PER TOWN SPECIFICATIONS. SEQUENCING AND SCHEDULING: (SEE DETAIL SHEETS FOR COMPLETE CONSTRUCTION SEQUENCE AND EROSION CONTROL SPECIFICATION.)
7. DEMOLITION REQUIREMENTS: CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH THE ADJACENT AND OCCUPIED BUILDING AREAS. IN COMPLIANCE WITH THE GOVERNING LAWS, PRIME CONSIDERATION SHALL BE GIVEN TO THE SAFETY, PROTECTION AND CONVENIENCE OF THE PUBLIC AND OWNER'S PERSONNEL. 2.1: EMPLOY TARPULINS ON TRUCKS CARRYING DEBRIS TO PREVENT SPREADING DUST OR DEBRIS. CLEAN UP LOOSE DEBRIS DAILY TO PREVENT THE WIND SPREADING DEBRIS.
8. LEAVE SITE IN CLEAN CONDITION.
9. STUMP DISPOSAL TO BE OUTSIDE LIMITS OF PAVEMENT, DRAINAGE STRUCTURES, ETC.
10. TEMPORARY EARTH MATERIAL STOCKPILES TO BE IN UPLAND AREAS AND COMPLETELY IMPOUNDED BY SILT FENCE/HAYBALE EROSION CONTROLS.
11. THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
12. WETLAND AREA SHOWN WAS FIELD DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. OF EXETER, NH ON 4/29/21.
13. ALL WATER, SEWER, ROAD (INCLUDING PARKING LOT), AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9.3 STORMWATER MANAGEMENT STANDARDS, STORMWATER MANAGEMENT PLAN, STORMWATER POLLUTION PREVENTION PLAN, AND EROSION AND SEDIMENT CONTROL STANDARDS AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER, NEW HAMPSHIRE. SEE SECTION 9.14 ROADWAYS, ACCESS POINTS, AND FIRE LANES AND SECTION 9.13 PARKING AREAS FOR EXCEPTIONS.
14. THE CONTRACTOR MUST OBTAIN A VALID UTILITY PIPE INSTALLER'S LICENSE AND THE JOB SUPERVISOR OR FOREMAN MUST BE CERTIFIED BY THE TOWN PRIOR TO WORKING ON ANY WATER, SEWER, OR DRAINAGE PIPES THAT ARE IN A TOWN STREET OR RIGHT OF WAY, OR THAT WILL CONNECT OR MAY BE CONNECTED TO A TOWN WATER, SEWER, OR DRAINAGE SYSTEM. A LICENSED SUPERVISOR OR FOREMAN MUST BE PRESENT AT THE JOB SITE AT ALL TIMES DURING CONSTRUCTION OF THESE UTILITIES.

NOTES:

ALL RECOMMENDATIONS CITED WITHIN THE PHASE 1 ENVIRONMENTAL SITE ASSESSMENT PREPARED BY EXETER ENVIRONMENTAL ASSOCIATES, LLC SHALL BE FOLLOWED THROUGHOUT DEMOLITION ON THE SITE.

ALL EXISTING UTILITIES, FLOOR DRAIN PIPING, ETC. SHALL BE REMOVED AND LEGALLY DISPOSED OF DURING DEMOLITION.



TOWN NOTES

IN ACCORDANCE WITH SITE PLAN REVIEW & SUBDIVISION REGULATIONS SECTIONS 7.15.10 AND 9.3.4 THE APPLICANT SHALL PROVIDE THE TOWN WITH THREE COPIES OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND ALSO ENSURE THAT ONE COPY REMAINS ON SITE.

GRAPHIC SCALE



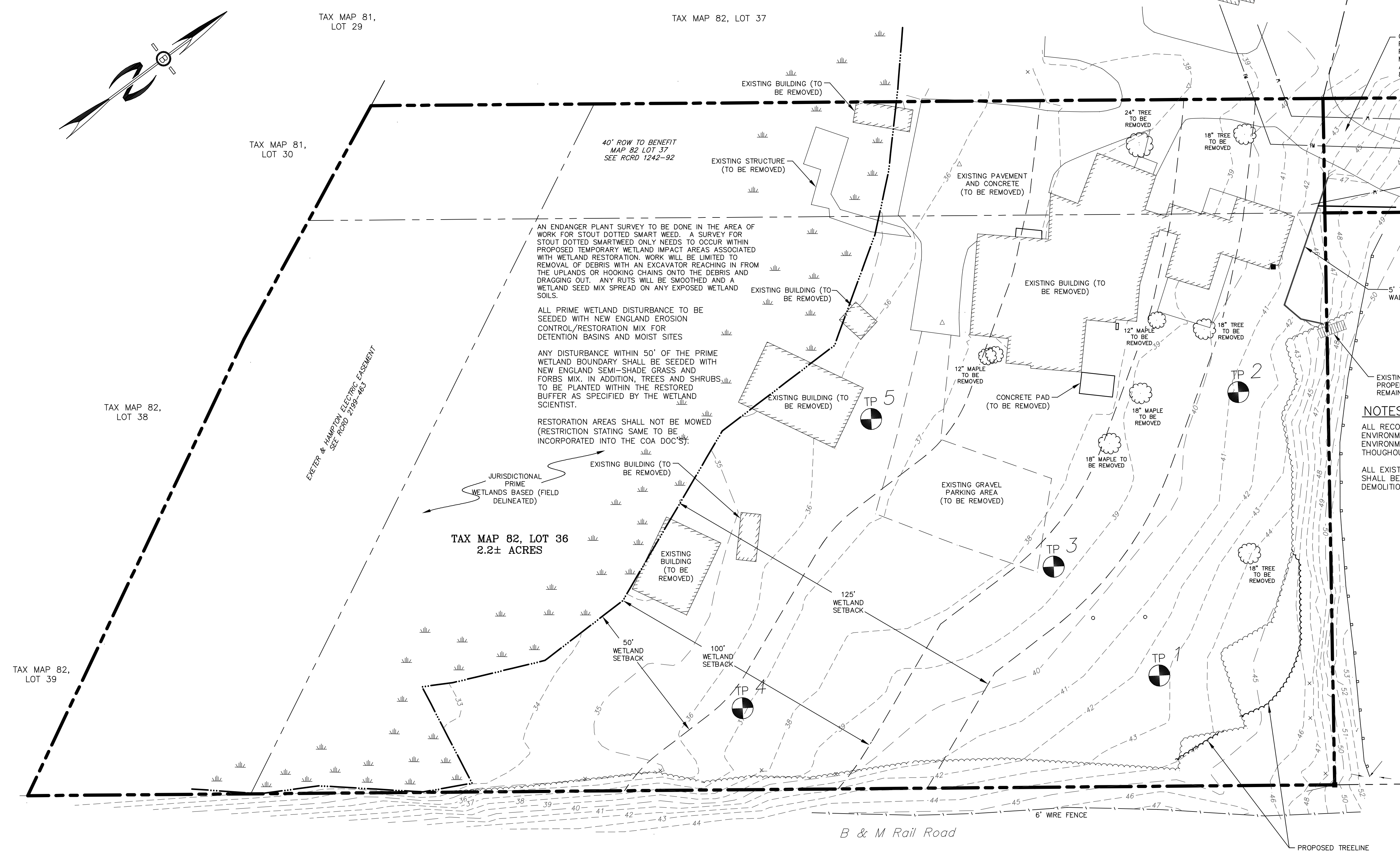
(IN FEET)
1 inch = 20 ft.

REVISED PER ENGINEERING REVIEW	9-8-21
REVISED PER T.R.C. COMMENTS	8-12-21
REVISED PER NATURAL RESOURCE PLANNER	7-1-21
REVISIONS:	DATE:

DEMOLITION PLAN

PLAN FOR:
RESIDENTIAL DEVELOPMENT
32 CHARTER STREET
EXETER, NH

DATE: MAY, 2021	SCALE: 1" = 20'
PROJ. NO: NH-1333	SHEET NO. 2 OF 7



AN ENDANGER PLANT SURVEY TO BE DONE IN THE AREA OF WORK FOR STOUT DOTTED SMART WEEB. A SURVEY FOR STOUT DOTTED SMART WEEB ONLY NEEDS TO OCCUR WITHIN PROPOSED TEMPORARY WETLAND IMPACT AREAS ASSOCIATED WITH WETLAND RESTORATION. WORK WILL BE LIMITED TO REMOVAL OF DEBRIS WITH AN EXCAVATOR REACHING IN FROM THE UPLANDS OR HOOKING CHAINS ONTO THE DEBRIS AND DRAGGING OUT. ANY RUTS WILL BE SMOOTHED AND A WETLAND SEED MIX SPREAD ON ANY EXPOSED WETLAND SOILS.

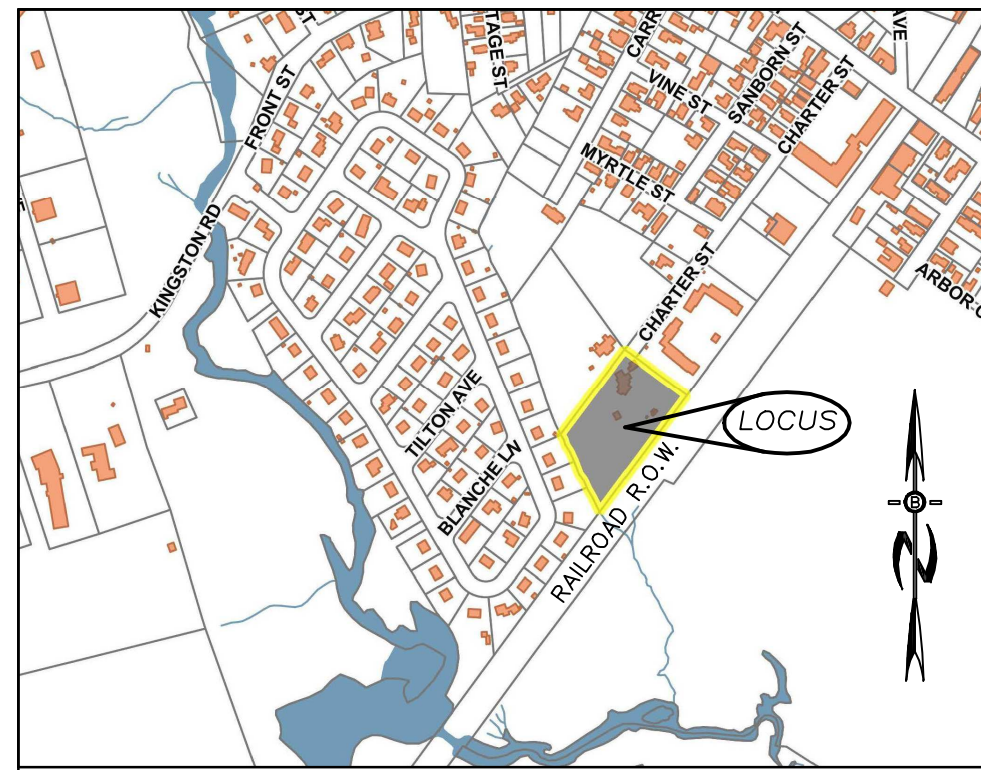
ALL PRIME WETLAND DISTURBANCE TO BE SEEDED WITH NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES

ANY DISTURBANCE WITHIN 50' OF THE PRIME WETLAND BOUNDARY SHALL BE SEEDED WITH NEW ENGLAND SEMI-SHADE GRASS AND FORBS MIX. IN ADDITION, TREES AND SHRUBS TO BE PLANTED WITHIN THE RESTORED BUFFER AS SPECIFIED BY THE WETLAND SCIENTIST.

RESTORATION AREAS SHALL NOT BE MOWED (RESTRICTION STATING SAME TO BE INCORPORATED INTO THE COA DOC'S):

TAX MAP 82, LOT 36
2.2± ACRES

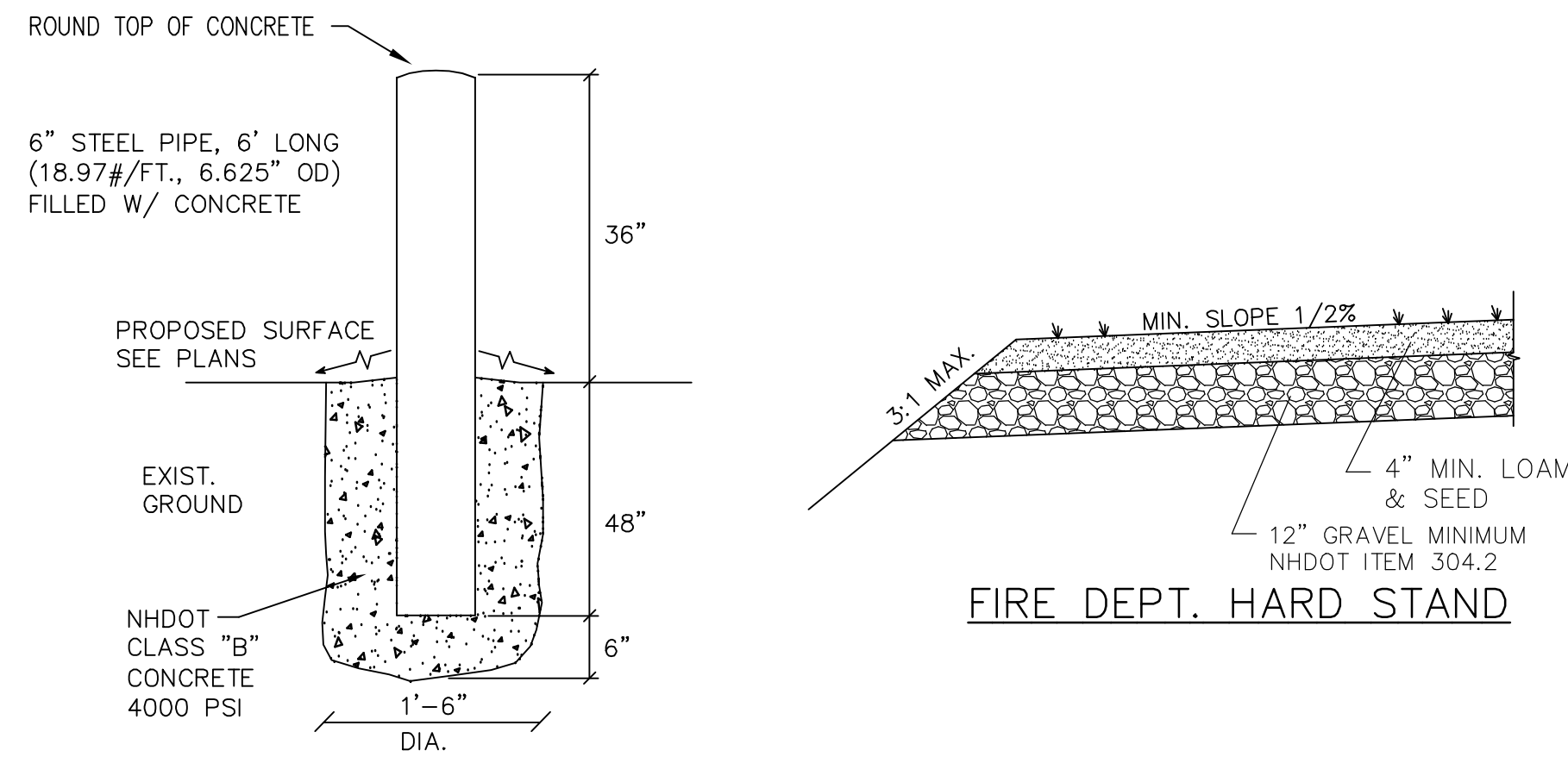
B & M Rail Road



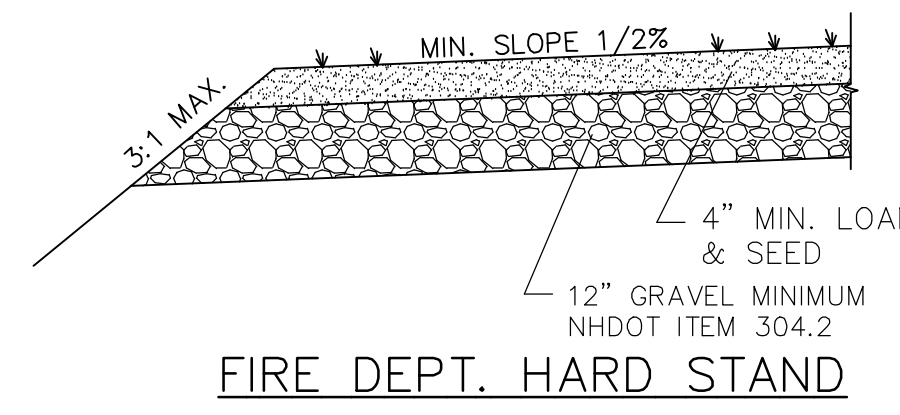
LOCATION MAP
SCALE: 1"=600'

LEGEND

- #1 STREET ADDRESS NO.
- UTILITY POLE
- TEST PIT W/ NO.
- STONE WALL
- TREE LINE
- EXISTING CONTOUR - 10'
- EXISTING CONTOUR - 2'
- WETLAND BOUNDARY
- SOILS BOUNDARY LINE
- BUILDING SETBACK LINE
- ABUTTING PROPERTY LINE
- EXISTING PROPERTY LINE
- AREA OF DISTURBANCE



BOLLARD DETAIL
NOT TO SCALE



FIRE DEPT. HARD STAND

ZONING REQUIREMENTS:
ZONING DISTRICT - MULTI-FAMILY
RESIDENTIAL AREA (R5)
MINIMUM LOT SIZE - 12,000 S.F.
MINIMUM LOT WIDTH - 100 FT.
MINIMUM LOT DEPTH - 100 FT.
MINIMUM FRONTAGE - 100 FT.
MINIMUM DWELLING UNIT - 3,630 S.F.

BUILDING SETBACKS
FRONT = 25 FT.
SIDE = 25 FT.
REAR = 25 FT.
BUILDING HEIGHT = 40 FT.
MAXIMUM BUILDING COVERAGE = 30-60%
(30% IF 3+ STOREYS, 60% IF 2 OR LESS)
MINIMUM OPEN SPACE = 20%

PARKING CALCULATIONS:
TOTAL NUMBER OF UNITS = 11
2 SPACES PER 2BR UNIT (22) + 1 SPACE
PER 4 UNITS FOR VISITOR (2.75)
TOTAL SPACES REQUIRED = 24.75 = 25
11 SPACES IN GARAGES, 14 GROUND STALLS
TOTAL SPACES PROVIDED = 25

PREPARED FOR:
ONE HOME BUILDERS LLC
PO BOX 334
STRATHAM, NH 03885

BEALS ASSOCIATES PLLC
70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
PHONE: 603-583-4860, FAX: 603-583-4863

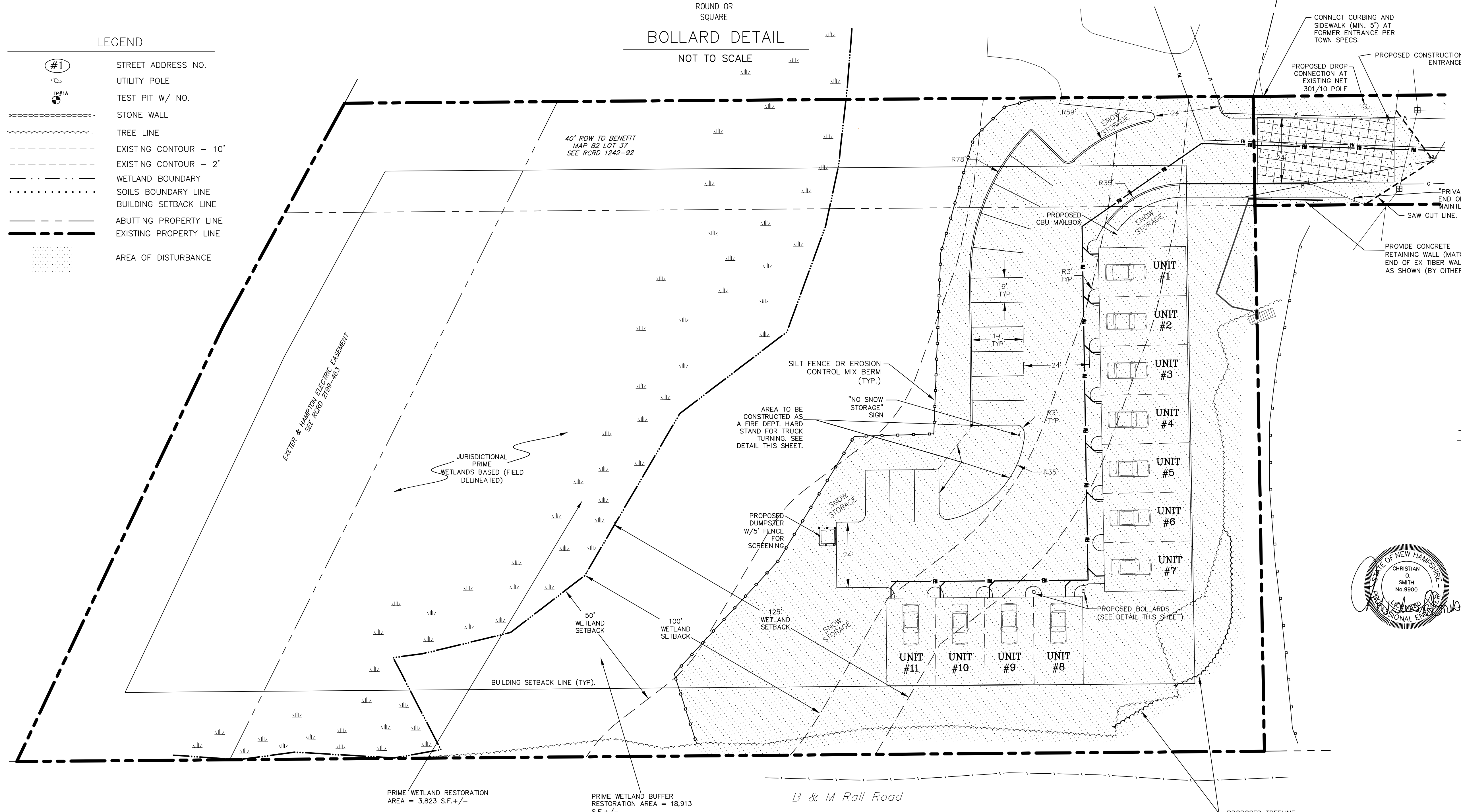
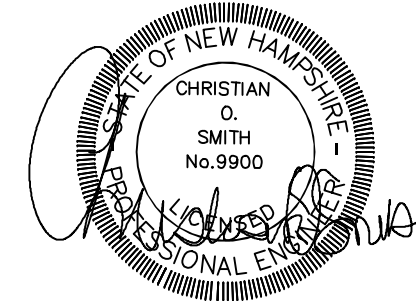
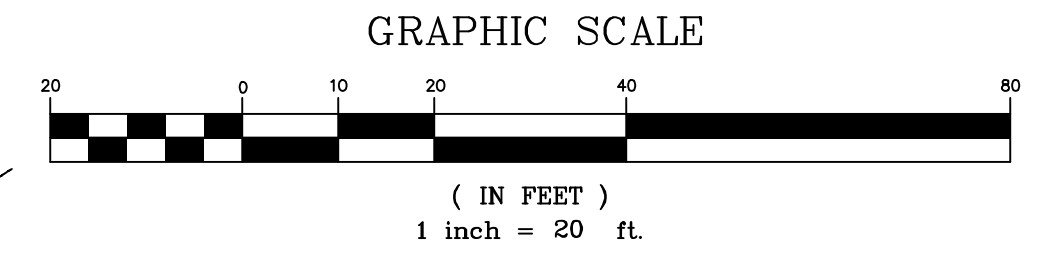
- NOTES:
- THE PURPOSE OF THIS PLAN IS TO SHOW A MULTI-FAMILY RESIDENTIAL PROJECT WITH (11) UNITS, AND ACCESS DRIVES. PROPERTY IS SERVED BY MUNICIPAL WATER AND SEWER.
 - ALL CONSTRUCTION SHALL CONFORM TO TOWN OF EXETER STANDARDS AND REGULATIONS.
 - ALL WATER, SEWER, ROAD (INCLUDING PARKING LOT), AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9.3 STORMWATER MANAGEMENT STANDARDS, STORMWATER MANAGEMENT PLAN, STORMWATER POLLUTION PREVENTION PLAN, AND EROSION AND SEDIMENT CONTROL STANDARDS AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER, NEW HAMPSHIRE. SEE SECTION 9.14 ROADWAYS, ACCESS POINTS, AND FIRE LANES AND SECTION 9.13 PARKING AREAS FOR EXCEPTIONS.
 - IN ACCORDANCE WITH SITE PLAN REVIEW & SUBDIVISION REGULATIONS SECTIONS 7.15.10 AND 9.3.4 THE APPLICANT SHALL PROVIDE THE TOWN WITH THREE COPIES OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND ALSO ENSURE THAT ONE COPY REMAINS ON SITE.
 - ALL PROPOSED SIGNAGE SHALL CONFORM WITH THE TOWN ZONING REGULATIONS UNLESS A VARIANCE IS OTHERWISE REQUESTED.
 - TOTAL PROPOSED DISTURBANCE FOR CONSTRUCTION = 0.81 ACRES (.76 ACRES ON PROPERTY, .05 ACRES IN R.O.W.)
 - UPON COMPLETION OF CONSTRUCTION AND PRIOR TO RELEASE OF BOND, THE APPLICANT SHALL SUBMIT A LETTER TO THE TOWN, SIGNED AND STAMPED BY THE DESIGN ENGINEER, WHO MUST BE A LICENSED PROFESSIONAL ENGINEER IN NH, STATING CONSTRUCTION HAS BEEN COMPLETED IN CONFORMANCE WITH THE APPROVED PLANS.
 - NO EXTERIOR LIGHTING PROPOSED ASIDE FROM BUILDING MOUNTED RESIDENTIAL DOORWAY ENTRANCE SAFETY LIGHTING.
 - THE DEVELOPER SHALL COORDINATE WITH UNITL TO ENSURE ANY TREE PLANTINGS ALONG MAIN STREET WILL NOT CONFLICT WITH THE EXISTING OVERHEAD WIRES.
 - THE DEVELOPER SHALL COORDINATE WITH UNITL TO CONFIRM A DROP POLE ON THE PROPERTY IS NOT REQUIRED, AND THAT THE EXISTING GAS SERVICE IS SUFFICIENT FOR THE PROPOSED DEVELOPMENT.
 - WETLAND AREA SHOWN WAS FIELD DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. OF EXETER, NH ON 4/29/21.
 - 4,500 S.F. OF PASSIVE RECREATION AREA PROVIDED WHICH EXCEEDS THE REQUIREMENTS IN SECTION 11.3 (4,400 S.F. REQUIRED, SEE SHEET 4 OF 7).

TOWN NOTES

THE APPLICANT HAS DESIGNED THIS SITE TO SAFELY ACCOMMODATE MAXIMUM SIZE VEHICLES AND TRUCKS, (DESIGN VEHICLE IS THE EXETER LADDER TRUCK OR 35' BOX TRUCK) EITHER DELIVERING TO, OR USING THE PROPERTY.

ALL SNOW SHALL BE STORED IN THE AREA(S) DEPICTED ON THIS PLAN AS SNOW STORAGE AREAS. IN THE EVENT THAT THE AREA(S) APPROVED FOR SNOW STORAGE BECOME FULL, THE OWNER SHALL REASONABLY REMOVE EXCESS SNOW FROM THE SITE, AND SHALL NOT ALLOW SNOW TO BE STORED WITHIN TRAVEL AISLES.

ALL WASTE MATERIALS AND RECYCLABLE SHALL BE CONTAINED WITHIN THE BUILDING(S) OR APPROVED STORAGE FACILITIES AND SHALL NOT BE OTHERWISE STORED ON THE PROPERTY. REFUSE COLLECTION WILL BE BY DUMPSTER AS NEEDED.



REVISED PER EFD & CONDITIONS OF APPROVAL	10-8-21
REVISED PER ENGINEERING REVIEW	9-8-21
REVISED PER T.R.C. COMMENTS	8-12-21
REVISIONS:	DATE:

PARKING & PAVING PLAN	
PLAN FOR: RESIDENTIAL DEVELOPMENT 32 CHARTER STREET EXETER, NH	
DATE: MAY, 2021	SCALE: 1" = 20'
PROJ. NO: NH-1333	SHEET NO. 3 OF 7

SITE SPECIFIC SOIL MAPPING STANDARDS:

THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, INTENDED FOR INFILTRATION REQUIREMENTS BY THE NH DES ALTERATION OF TERRAIN BUREAU. IT WAS PRODUCED BY A PROFESSIONAL SOIL SCIENTIST, AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE. THERE IS A REPORT THAT ACCOMPANIES THIS MAP.

THE SITE SPECIFIC SOIL SURVEY AND WETLAND DELINEATION WAS PRODUCED APRIL 29, 2021, AND WAS PREPARED BY JAMES P. GOVE, CSS # 004, GOVE ENVIRONMENTAL SERVICES, INC. THE LOCATION OF THE SOIL SURVEY IS AT CHARTER STREET, EXETER, NH.

SOILS WERE IDENTIFIED WITH THE NEW HAMPSHIRE STATE-WIDE NUMERICAL SOILS LEGEND, USDA NRCS, DURHAM, NH, ISSUE # 10, JANUARY 2011.

HIGH INTENSITY SOIL SURVEY (HISS) CONVERSION IS DETERMINED BY THE SOIL PROPERTIES IDENTIFIED IN "HIGH INTENSITY SOIL MAPPING STANDARD FOR NH", SSSNNE SPECIAL PUBLICATION NUMBER 1, DECEMBER, 2017.

HYDROLOGIC SOIL GROUPS ARE DETERMINED FROM SSSNNE SPECIAL PUBLICATION NUMBER 5, "K SAT VALUES FOR NEW HAMPSHIRE SOILS", SEPTEMBER, 2009.

SOIL MAP SYMBOL	SOIL MAP UNIT NAME	HISS CONVERSION	HISS
88	ELDRIDGE SANDY LOAM	343	C
100	UDORTHENTS, WET SUBSTRATUM	463	D
496	NATCHAUG MUCK	683	D
699	URBAN LAND	N/A	IMPERVIOUS
899	URBAN LAND-WINDSOR COMPLEX	161	A

B SLOPE = 0-8% C SLOPE = 8-15% E SLOPE = >25%

KEY TO SOIL TYPES

HIGH INTENSITY SOIL SURVEYS UTILIZE A FIVE-PART CLASSIFICATION TO IDENTIFY SOIL TYPES. SYMBOLS A-E READ FROM LEFT TO RIGHT IN THE CLASSIFICATION.

SYMBOL A: DRAINAGE CLASS

- 1- EXCESSIVELY DRAINED
- 2- WELL DRAINED
- 3- MODERATELY WELL DRAINED
- 4- SOMEWHAT POORLY DRAINED
- 5- POORLY DRAINED
- 6- VERY POORLY DRAINED

SYMBOL B: PARENT MATERIAL

- 1- GLACIOFLUVIAL DEPOSITS (OUTWASH/TERRACES)
- 2- GLACIAL TILL
- 3- VERY FINE SAND AND SILT DEPOSITS
- 4- LOAMY/SANDY OVER SILT/CLAY DEPOSITS
- 5- SILT AND CLAY DEPOSITS
- 6- EXCAVATED, REGRADED, OR FILLED
- 7- ALLUVIAL DEPOSITS
- 8- ORGANIC MATERIALS - FRESHWATER
- 9- ORGANIC MATERIALS - TIDAL MARSH

SYMBOL C: RESTRICTIVE FEATURES

- 1- NONE
- 2- BOULDERY
- 3- MINERAL RESTRICTIVE LAYER WITHIN 40 INCHES OF SOIL SURFACE
- 4- BEDROCK PRESENT WITHIN 20 INCHES OF SOIL SURFACE
- 5- SUBJECT TO FLOODING (FLOODPLAIN)
- 6- DOES NOT MEET FILL STANDARDS (SEE PUBLICATION)
- 7- BEDROCK PRESENT 20-40 INCHES BELOW SOIL SURFACE
- 8- BEDROCK DEPTH VARIABLE (GENERALLY WITHIN 40 INCHES OF SOIL SURFACE)

SYMBOL D: SLOPE CLASS

- B- 0% TO 8%
- C- 8% TO 15%
- D- 15% TO 25%
- E- 15% TO 25%
- F- 35%+

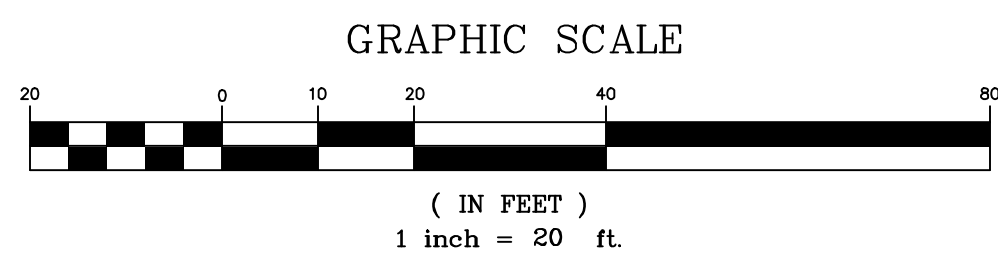
SYMBOL E: HIGH INTENSITY SOIL MAP IDENTIFIER
 H- MAP MEETS HIGH INTENSITY SOIL MAPPING STANDARDS
 P- MAP IS FOR PRELIMINARY PLANNING ONLY AND DOES NOT MEET STANDARDS

CONSTRUCTION SPECIFICATIONS

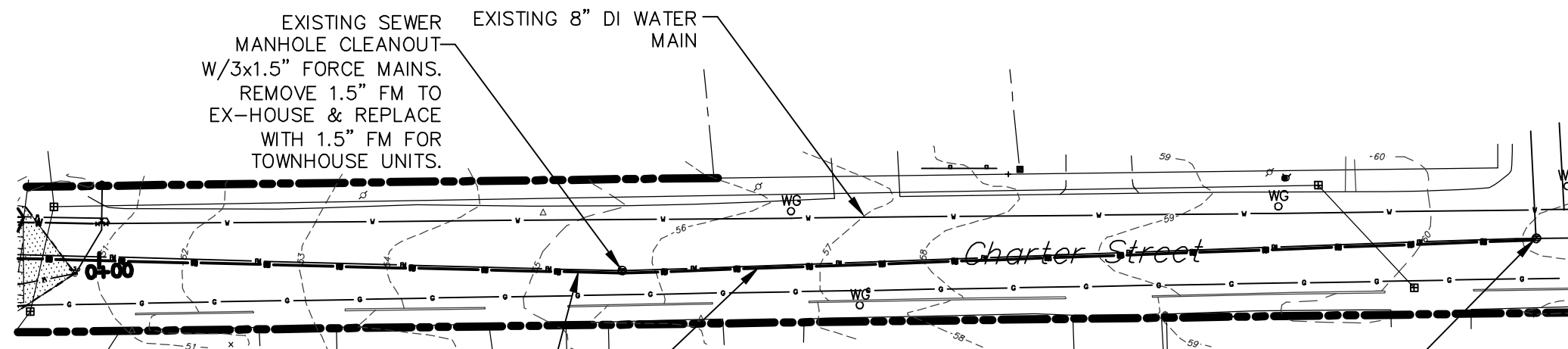
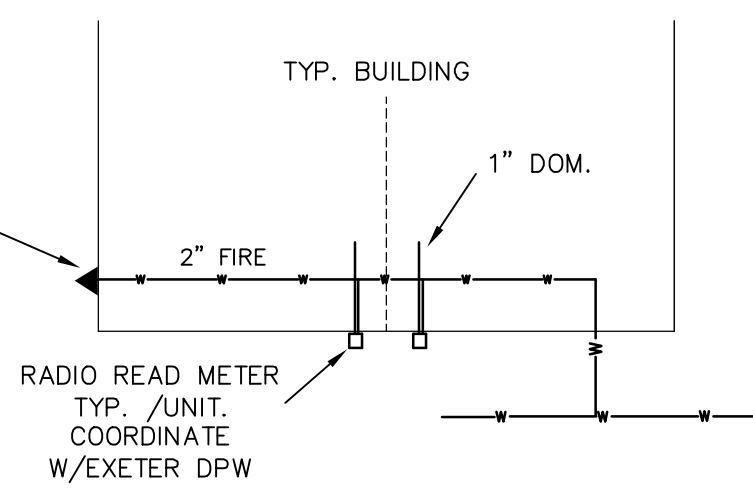
- STRUCTURES SHALL BE INSTALLED ACCORDING TO THE DIMENSIONS SHOWN ON THE PLANS AT THE APPROPRIATE SPACING.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER SO THAT EROSION AND AIR AND WATER POLLUTION WILL BE MINIMIZED.
- WHEN TIMBER STRUCTURES ARE USED, THE TIMBER SHALL EXTEND AT LEAST 18" INTO THE SOIL.
- STRAW BALES SHALL BE ANCHORED INTO THE SOIL USING 2" X 2" STAKES DRIVEN THROUGH THE BALES AND AT LEAST 18 INCHES IN TO THE SOIL.
- SEEDING, FERTILIZING, AND MULCHING SHALL CONFORM TO THE RECOMMENDATIONS IN THE APPROPRIATED VEGETATIVE BMP.
- STRUCTURES SHALL BE REMOVED FROM THE CHANNEL WHEN THEIR USEFUL LIFE HAS BEEN COMPLETED.
- THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES THE CONTRACTOR SHALL TAKE PRECAUTIONS AND INSTRUCTIONS FROM THE PLANNING DEPARTMENT IN ORDER TO PREVENT, ABATE AND CONTROL THE EMISSION OF FUGITIVE DUST INCLUDING BUT NOT LIMITED TO WETTING, COVERING, SHIELDING, OR VACUUMING.
- THE NH COMMISSIONER OF AGRICULTURE PROHIBITS THE COLLECTION, POSSESSION, IMPORTATION, TRANSPORTATION, SALE, PROPAGATION, TRANSPORTATION, OR CULTIVATION OF PLANTS BANNED BY NH LAW RSA 430:53 AND NH CODE ADMINISTRATIVE RULES AGR 3800. THE PROJECT SHALL MEET ALL REQUIREMENTS AND THE INTENT OF RSA 430:53 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.
- THE CONSTRUCTION SITE OPERATOR AND OWNER SHALL SUBMIT A NOTICE OF INTENT (NOI) TO USEPA, WASHINGTON, DC, STORMWATER NOTICE PROCESSING CENTER AT LEAST FOURTEEN DAYS PRIOR TO COMMENCEMENT OF WORK ON SITE. EPA WILL POST THE NOI AT <http://efpub.epa.gov/npdes/stormwater/notice/notice.cfm>. AUTHORIZATION IS GRANTED UNDER THE PERMIT ONCE THE NOI IS SHOWN IN "ACTIVE STATUS".

DRAINAGE NOTES:

- ALL DRAINAGE STRUCTURE AND SWALES WILL BE BUILT AND STABILIZED PRIOR TO HAVING RUN-OFF DIRECTED TO THEM.
- SEE DETAIL SHEETS FOR STANDARD CONSTRUCTION NOTES AND DETAILS.



WATER SERVICE DETAIL



PREPARED FOR:
ONE HOME BUILDERS LLC
 PO BOX 334
 STRATHAM, NH 03885

BEALS ASSOCIATES PLLC
 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863

UTILITY NOTES:

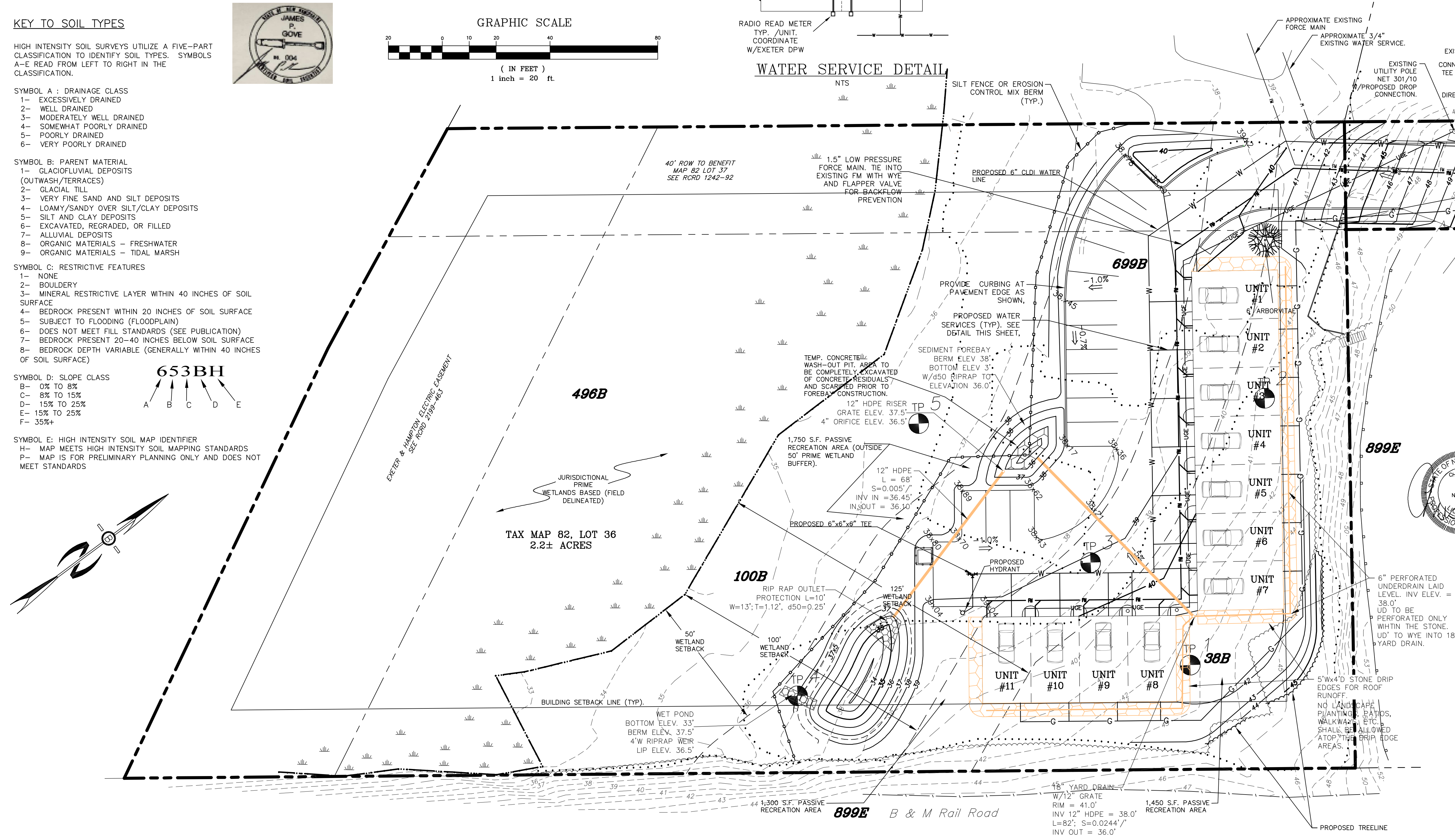
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, FEES AND BONDS.
- THE CONTRACTOR SHALL PROVIDE NOTICE TO ALL COMPANIES AND LOCAL AUTHORITIES OWNING OR HAVING A JURISDICTION OVER UTILITIES RUNNING TO, THROUGH OR ACROSS PROJECT AREAS PRIOR TO DEMOLITION AND/OR CONSTRUCTION ACTIVITIES.
- THE SPECIFICATIONS FOR PROPOSED PRIVATE UTILITY SERVICES SHALL BE TO THE STANDARDS AND REQUIREMENTS OF THE RESPECTIVE UTILITY CO. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES FOR PROPER UTILITY CROSSING REQUIREMENTS PRIOR TO THE PRE-CONSTRUCTION MEETING UGETL PLANS FROM THE UTILITY COMPANIES NEED TO BE REDRAWN ON THIS SHEET. ADDITIONALLY THE CONTRACTOR NEEDS TO HAVE A COMPLETED SWPPP. A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE OWNER, ENGINEER, ARCHITECT, CONTRACTOR, LOCAL OFFICIALS, AND ALL UTILITY COMPANIES (PUBLIC AND PRIVATE) PRIOR TO START OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL CONFORM TO EXETER STANDARDS AND REGULATIONS, UNLESS OTHERWISE SPECIFIED. ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR (OSHA) RULES AND REGULATIONS. BUILDINGS ARE TO BE SERVICED BY UNDERGROUND UTILITIES.
- THE CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITY STUBS PRIOR TO CONSTRUCTION AND DISCONNECT ALL EXISTING SERVICE CONNECTIONS AT THEIR RESPECTIVE MAINS (IF REQUIRED) IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANY'S STANDARDS AND SPECIFICATIONS. SEWER AND WATER INFRASTRUCTURE ON PRIVATE PROPERTY SHALL REMAIN PRIVATE. HOWEVER, THE TOWN RESERVES THE RIGHT TO ENTER THE PROPERTY IN ORDER TO INSPECT, REPAIR AND/OR TERMINATE INDIVIDUAL SEWER OR WATER SERVICES (AT OWNER'S EXPENSE). THIS RIGHT IS TO BE CONVEYED TO THE TOWN IN THE SITE'S DECLARATION OF CONDOMINIUM DOCUMENTS, AND IN ALL INDIVIDUAL DEEDS. AN AS-BUILT PLAN IS TO BE PREPARED AND SUBMITTED TO DEPARTMENT OF PUBLIC WORKS IN DIGITAL AND MYLAR FORMATS.
- THE CONTRACTOR IS RESPONSIBLE FOR PAYMENT OF ALL CONNECTION FEES.
- SANITARY SEWER FLOW CALCULATIONS:
 11 UNITS AT 3 BEDROOMS EACH = 33 BEDROOMS
 ESTIMATED FLOW AT 150 GPD/BEDROOM = 4,950.
- FOR WATER MAIN AND SEWER LINE CROSSINGS REFER TO THE DETAIL ON SHEET 5 FOR MINIMUM VERTICAL AND HORIZONTAL SEPARATION.
- ALL WATER AND SANITARY LEADS TO BUILDING SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLANS AND SHALL BE PROVIDED WITH A TEMPORARY CAP AND WITNESS AT END.
- THURST BLOCKS SHALL BE PROVIDED AT ALL BENDS, TEES AND MECHANICAL UNITS.
- CONTRACTOR SHALL MINIMIZE DISRUPTIONS TO EXISTING WATER SERVICES AND ALL REQUIREMENTS OF EXETER WATER DEPARTMENT SHALL BE FOLLOWED REGARDING NOTIFICATION OF INTERRUPTION OF SERVICE (MIN 48 HOURS). TEE INSTALLATION MAY NEED TO BE CONDUCTED AT NIGHT AS DIRECTED BY EXETER WATER DEPT.
- WATER VALVES ARE TO BE OPERATED ONLY BY MUNICIPAL STAFF.
- THE INSTALLATION OF SMOKE, HEAT, FIRE, OR CARBON MONOXIDE ALARMS OR SYSTEMS SHALL COMPLY WITH NFPA 72 REQUIREMENTS.
- ALL BUILDINGS TO BE PROVIDED WITH RESIDENTIAL SPRINKLER SYSTEMS FOR FIRE SUPPRESSION.
- ALL SEWER SERVICE BENDS SHALL HAVE CLEANOUTS INSTALLED (SEE SHEET 5 OF 6 FOR DETAILS).
- WETLAND AREA SHOWN WAS FIELD DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. OF EXETER, NH ON 4/29/21.
- ALL WATER, SEWER, ROAD (INCLUDING PARKING LOT), AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9.3 STORMWATER MANAGEMENT STANDARDS, STORMWATER MANAGEMENT PLAN, STORMWATER POLLUTION PREVENTION PLAN AND EROSION AND SEDIMENT CONTROL STANDARDS AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER, NEW HAMPSHIRE, SEE SECTION 9.14 ROADWAYS, ACCESS POINTS, AND FIRE LANES AND SECTION 9.13 PARKING AREAS FOR EXCEPTIONS.
- EACH UNIT TO BE PROVIDED WITH AN INDIVIDUAL WATER SHUT-OFF.
- THE CONTRACTOR MUST OBTAIN A VALID UTILITY PIPE INSTALLER'S LICENSE AND THE JOB SUPERVISOR OR FOREMAN MUST BE CERTIFIED BY THE TOWN PRIOR TO WORKING ON ANY WATER, SEWER, OR DRAINAGE PIPES THAT ARE IN A TOWN STREET OR RIGHT OF WAY, OR THAT WILL CONNECT OR MAY BE CONNECTED TO A TOWN WATER, SEWER, OR DRAINAGE SYSTEM. A LICENSED SUPERVISOR OR FOREMAN MUST BE PRESENT AT THE JOB SITE AT ALL TIMES DURING CONSTRUCTION OF THESE UTILITIES.

REVISED PER EFD & CONDITIONS OF APPROVAL	10-8-21
REVISED PER ENGINEERING REVIEW	9-8-21
REVISED PER T.R.C. COMMENTS	8-17-21
REVISED PER NATURAL RESOURCE PLANNER	7-1-21
REVISIONS:	DATE:

UTILITY & DRAINAGE PLAN

PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 32 CHARTER STREET
 EXETER, NH

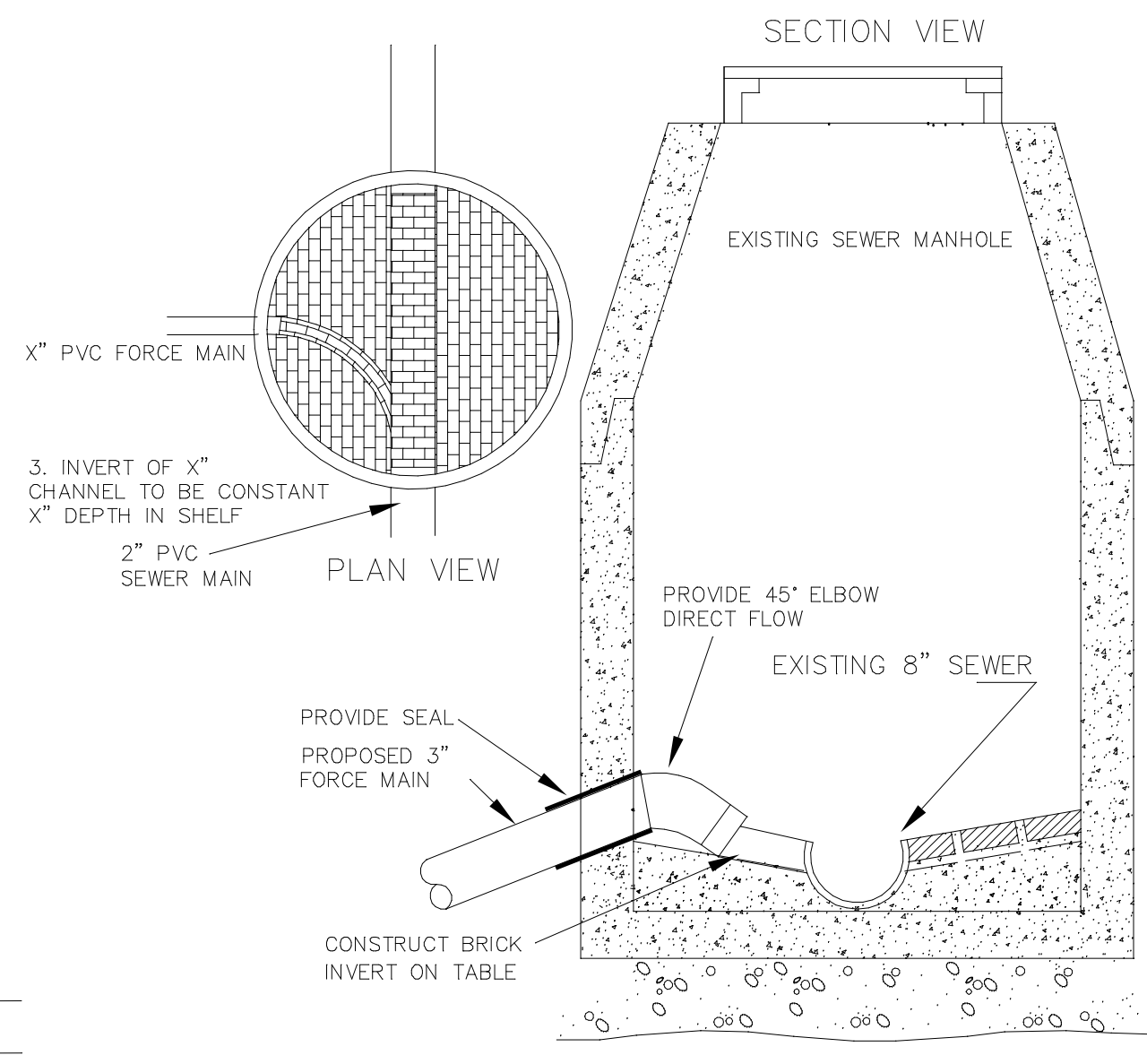
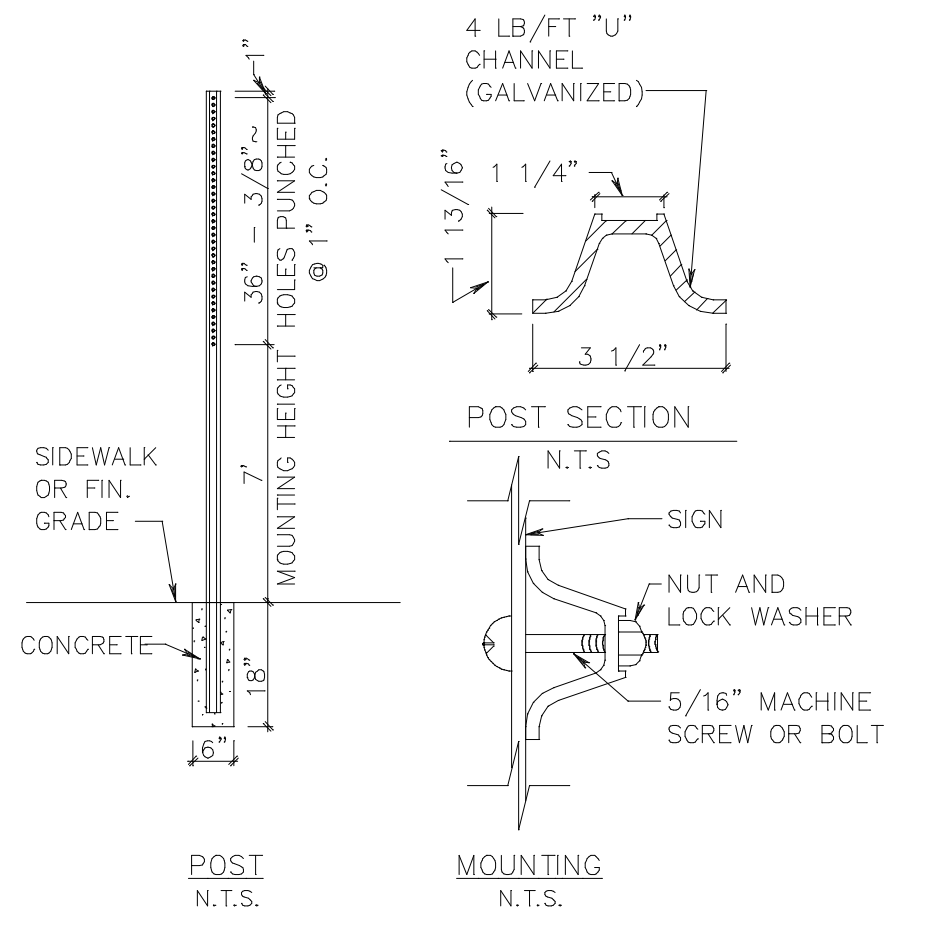
DATE: MAY, 2021	SCALE: 1" = 20'
PROJ. NO: NH-1333	SHEET NO. 4 OF 7



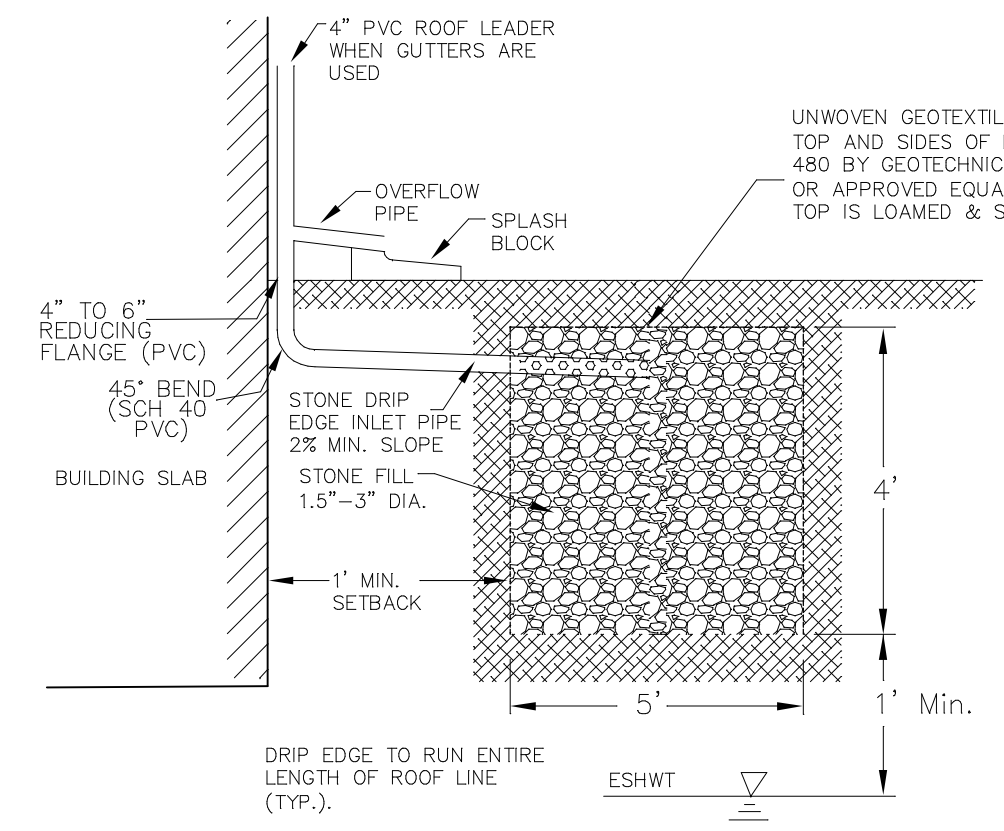
PREPARED FOR:

ONE HOME BUILDERS LLC
PO BOX 334
STRATHAM, NH 03885

BEALS ASSOCIATES PLLC
PERMEABLE SAND (1" Ø MAX)
70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
PHONE: 603-583-4860, FAX: 603-583-4863

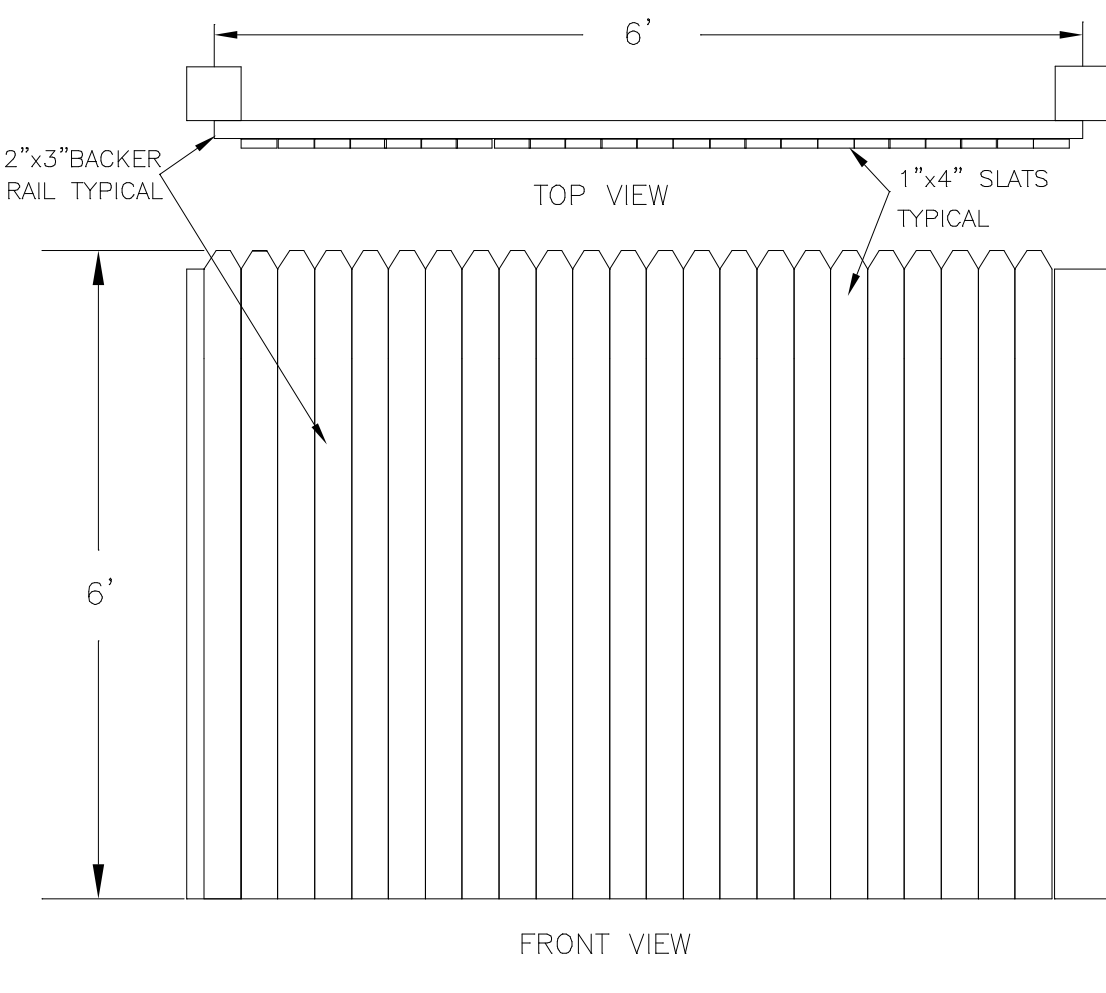


SEWER MANHOLE DETAIL
FOR CONSTRUCTION OF FORCE MAIN INTO AN EXISTING MANHOLE

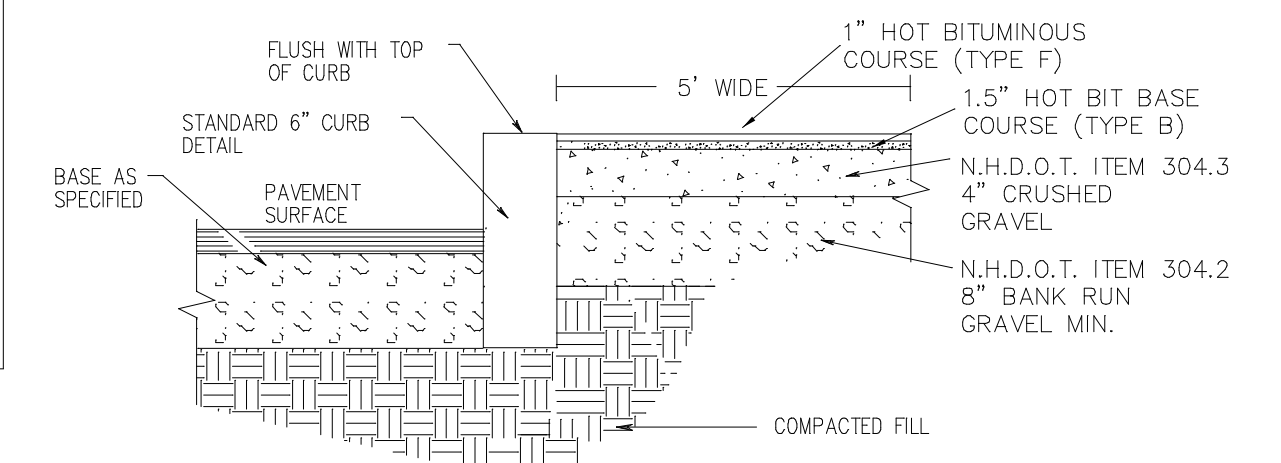


STONE DRIP EDGE SECTION

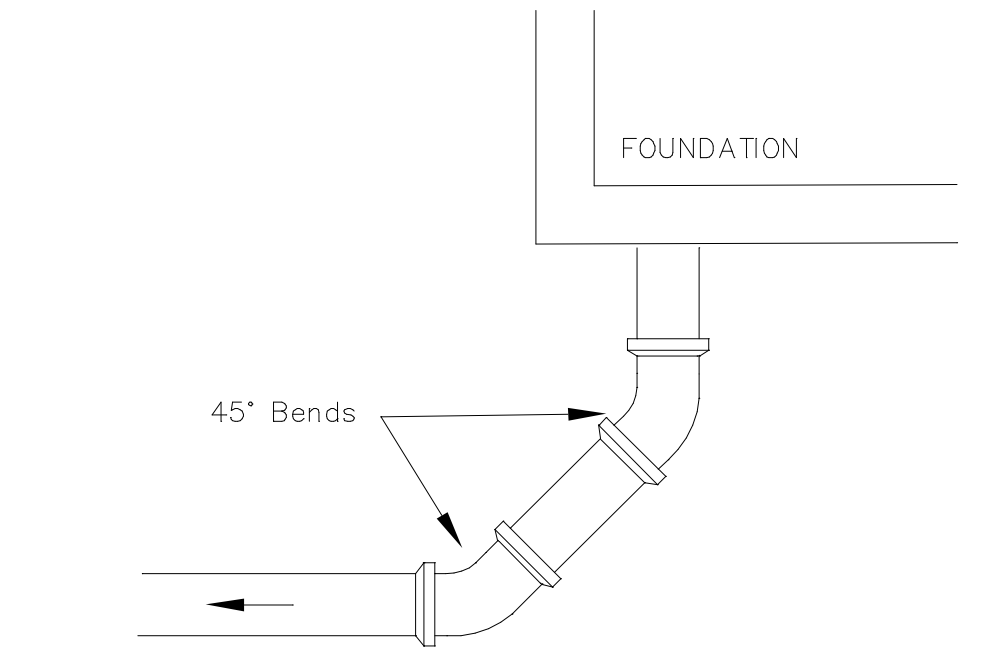
NOTE: ALL MATERIALS USED IN FENCE ARE #1 CEDAR.
NOTE: ENCLOSURE TO MATCH OR EXCEED HEIGHT OF DUMPSTER
NOTE: TYPICAL GATE (TO MATCH ENCLOSURE - 6" WIDE) TO BE PROVIDED FOR DUMPSTER ACCESS NORTHEASTERLY SIDE OF THE ENCLOSURE.



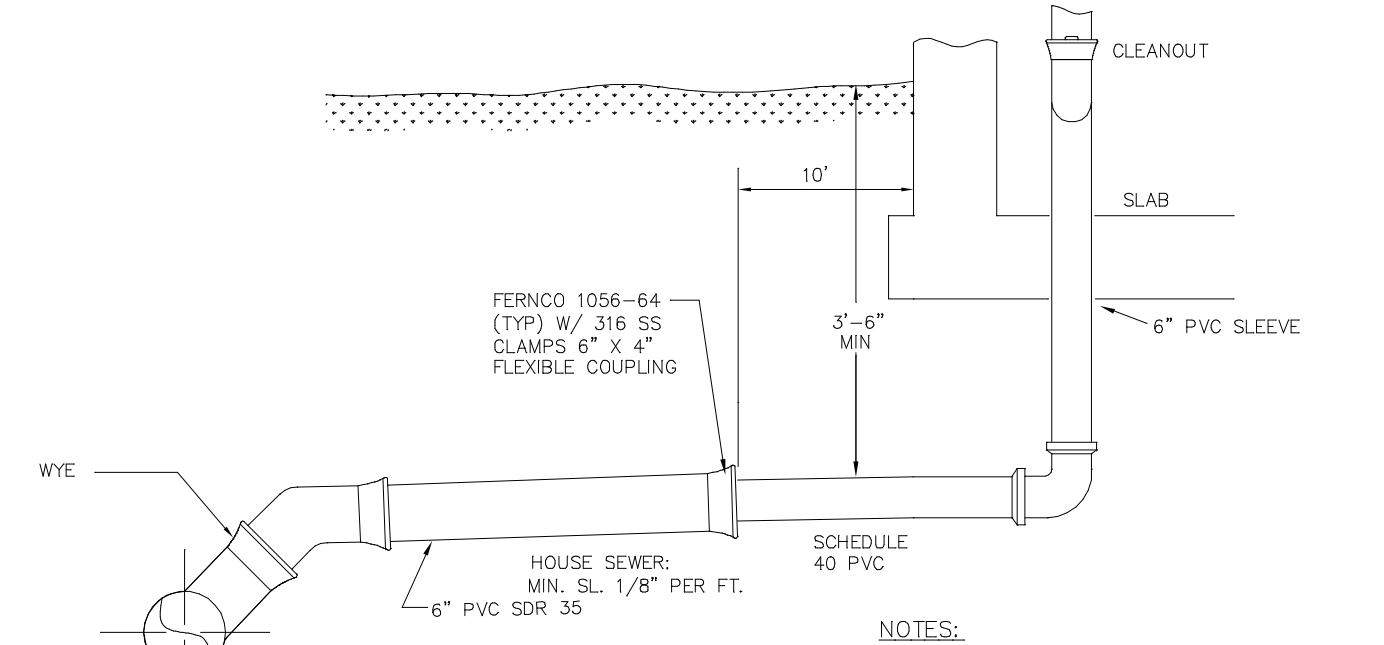
STOCKADE FENCE DETAIL
N.T.S.



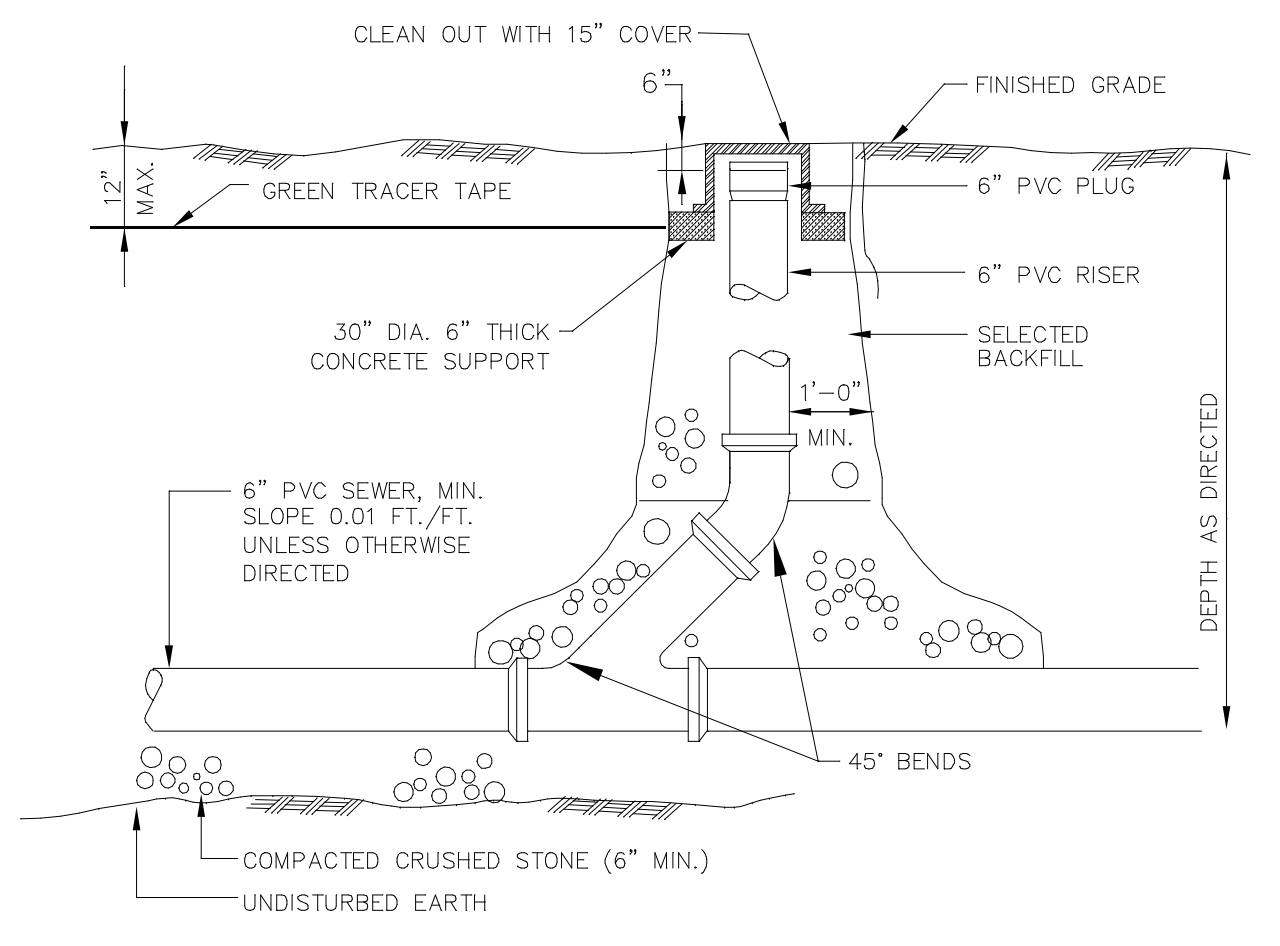
VERT. GRANITE CURB/BIT. SIDEWALK DETAIL
NOT TO SCALE



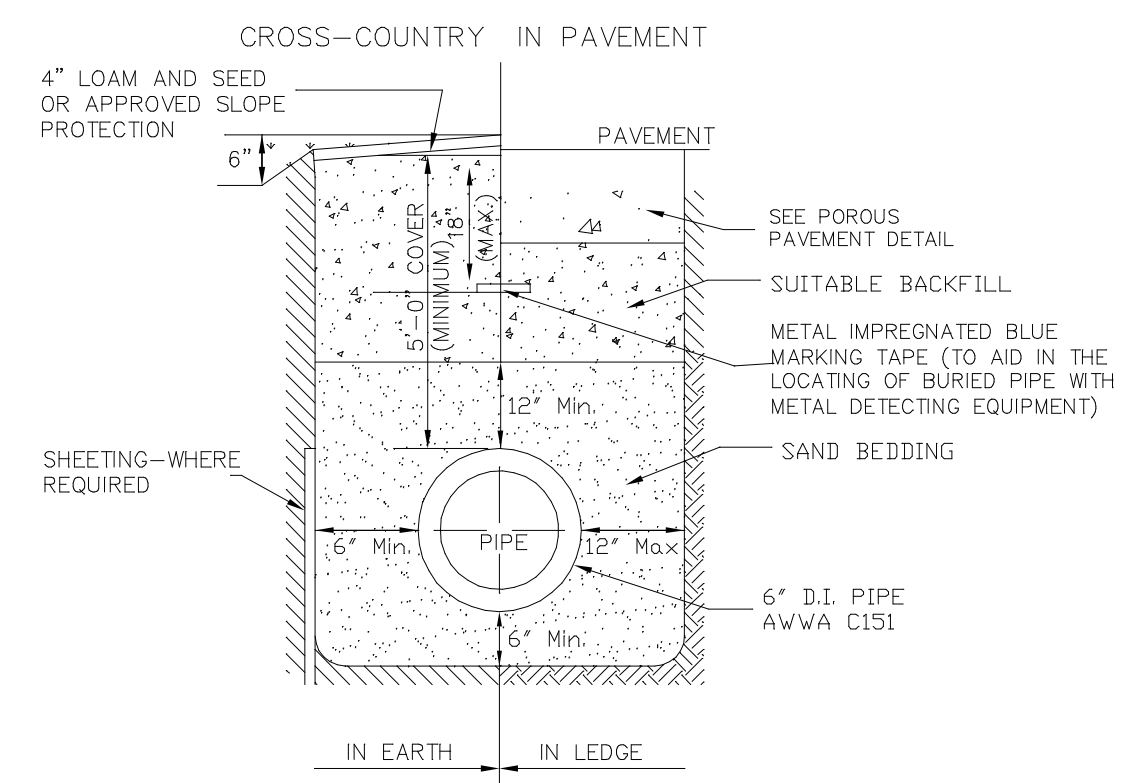
HORIZONTAL DETAIL OF HOUSE SEWER SERVICE



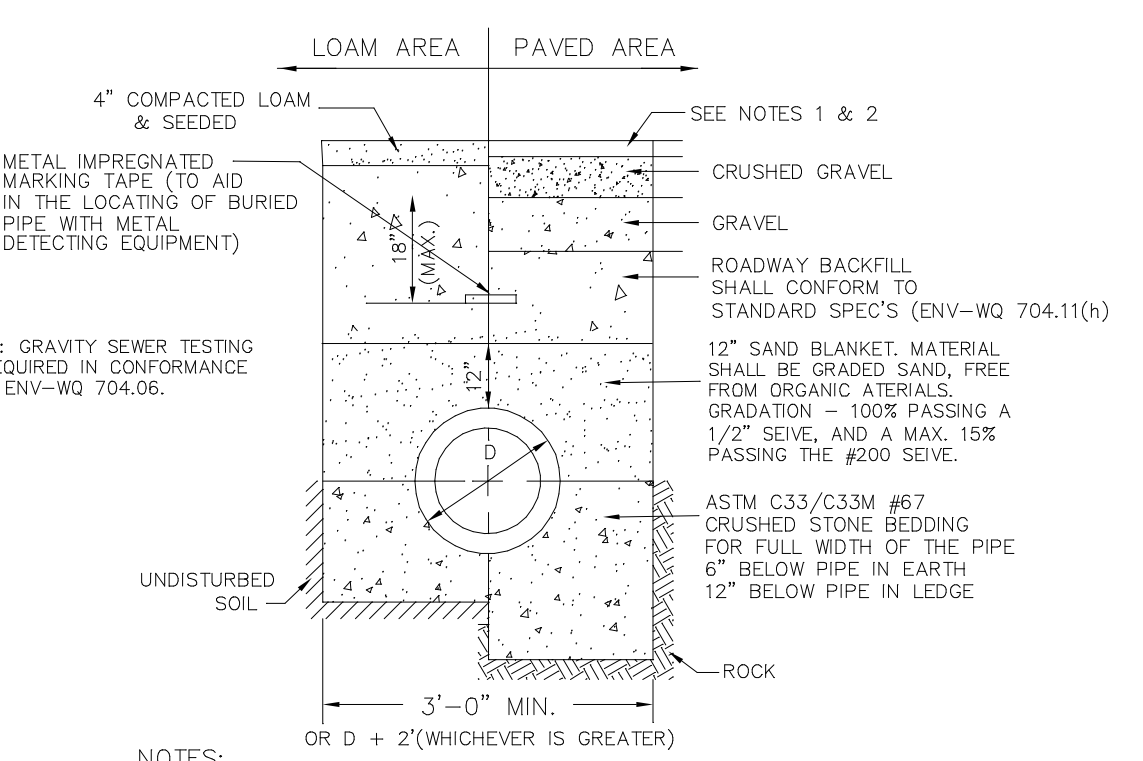
VERTICAL DETAIL OF HOUSE SEWER SERVICE



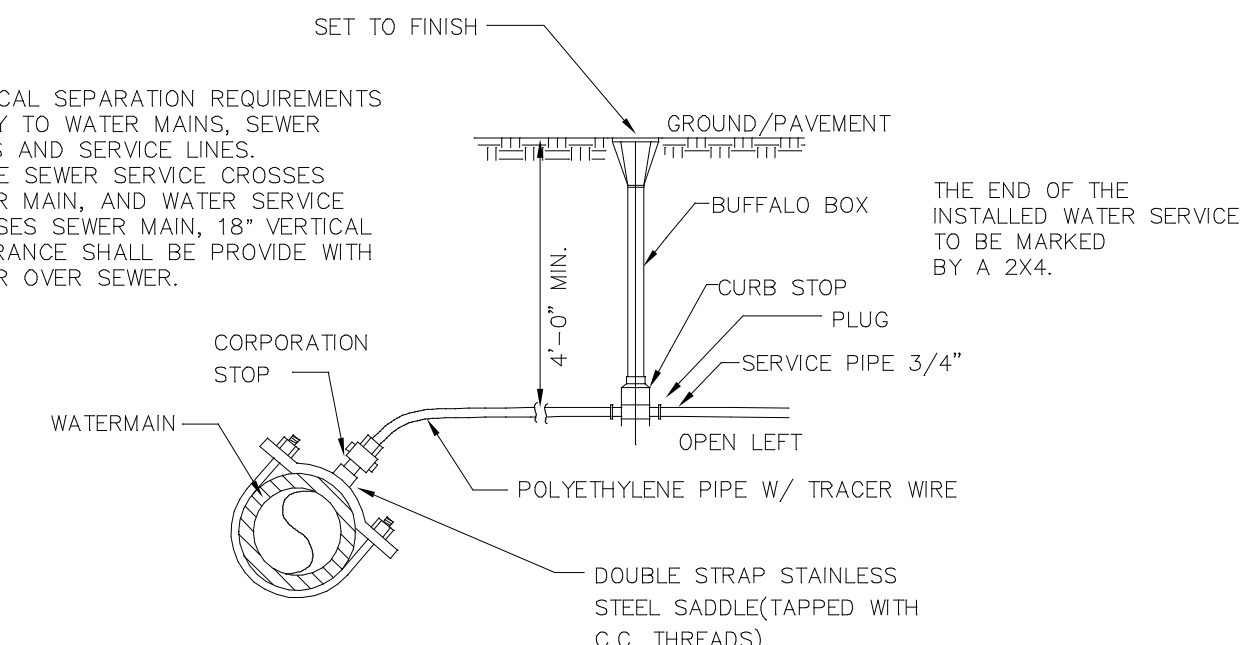
SEWER SERVICE CLEAN OUT
PVC PIPE SHALL CONFORM WITH ASTM D3034 AND ASTM D2412.
PVC JOINTS SEALS SHALL CONFORM WITH ASTM D3212



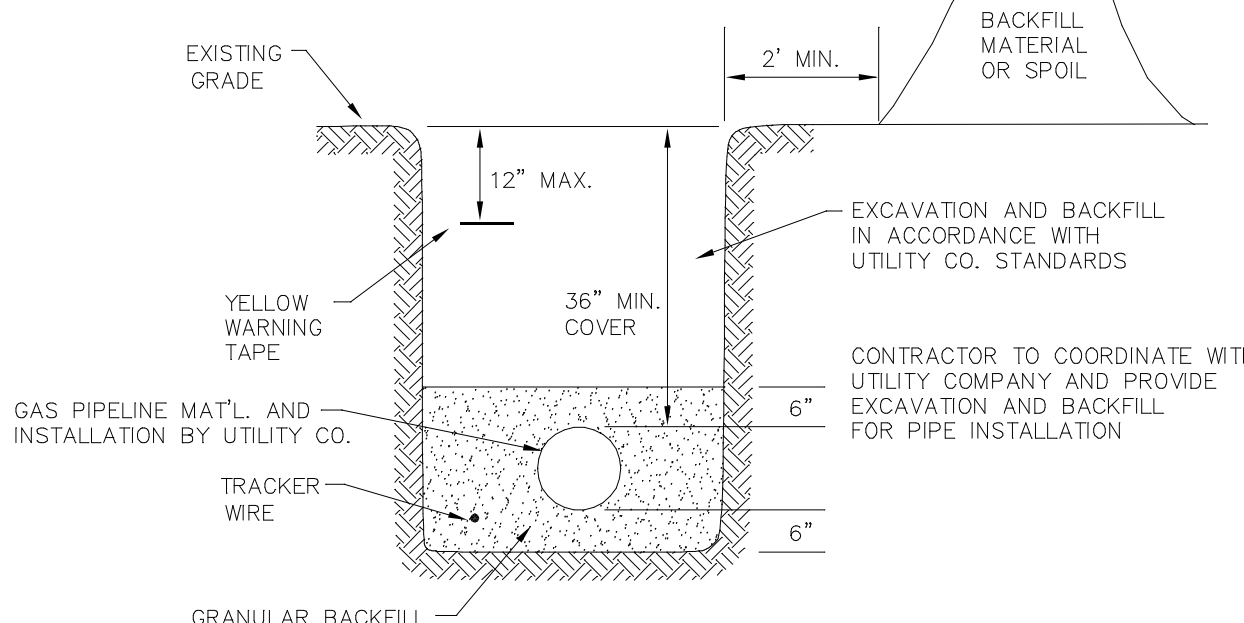
TYPICAL TRENCH DETAIL FOR WATER SYSTEM



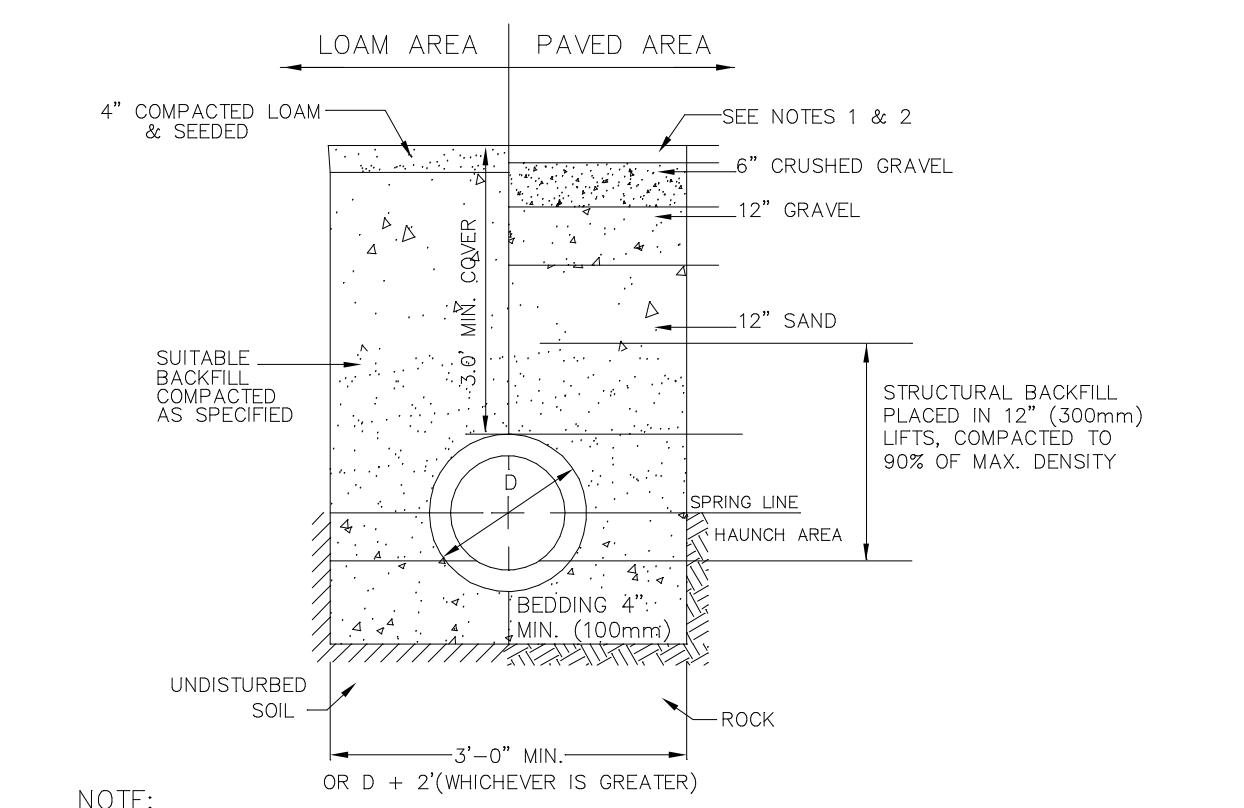
TYPICAL SEWER TRENCH DETAIL



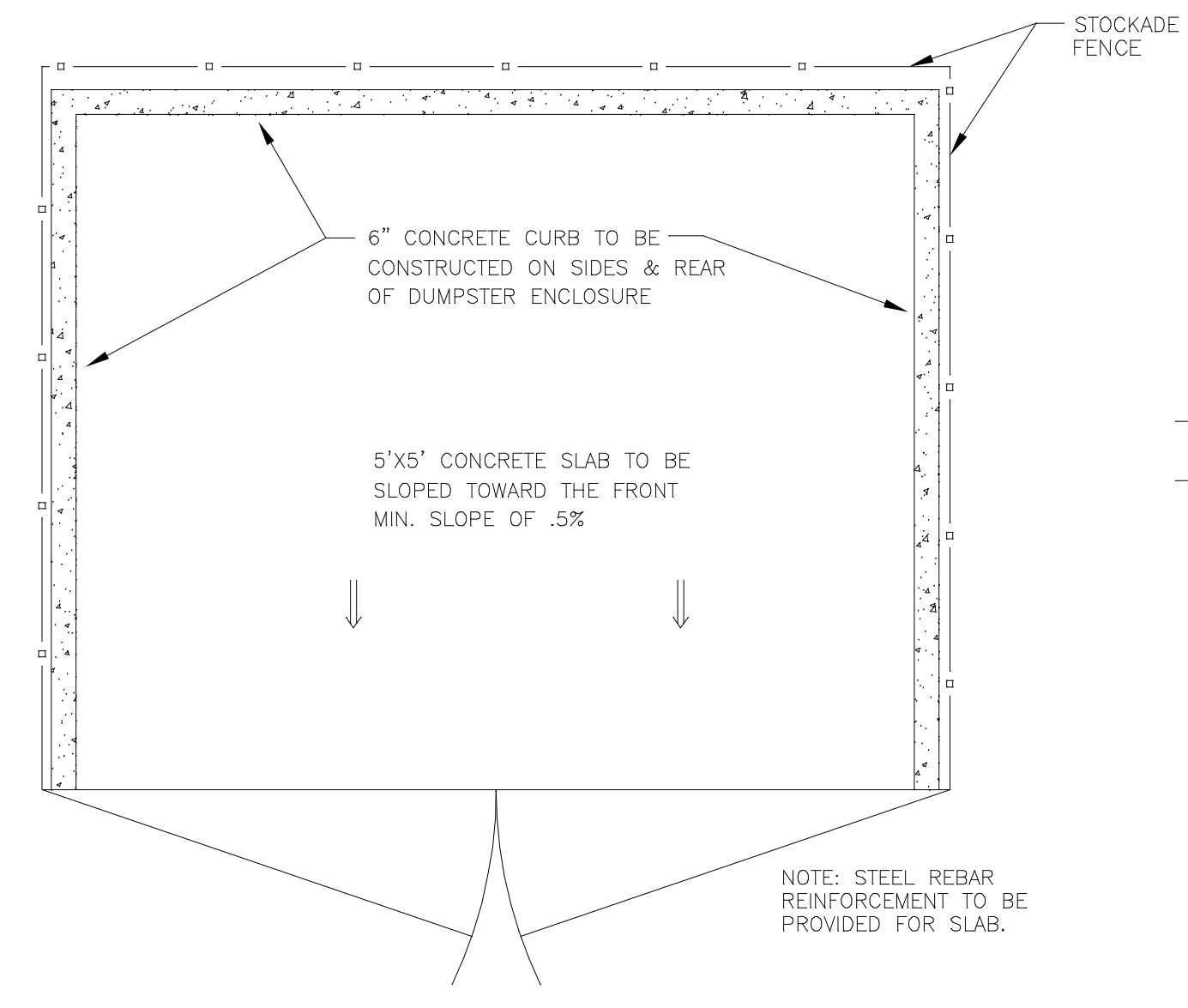
TYPICAL WATER SERVICE CONNECTION



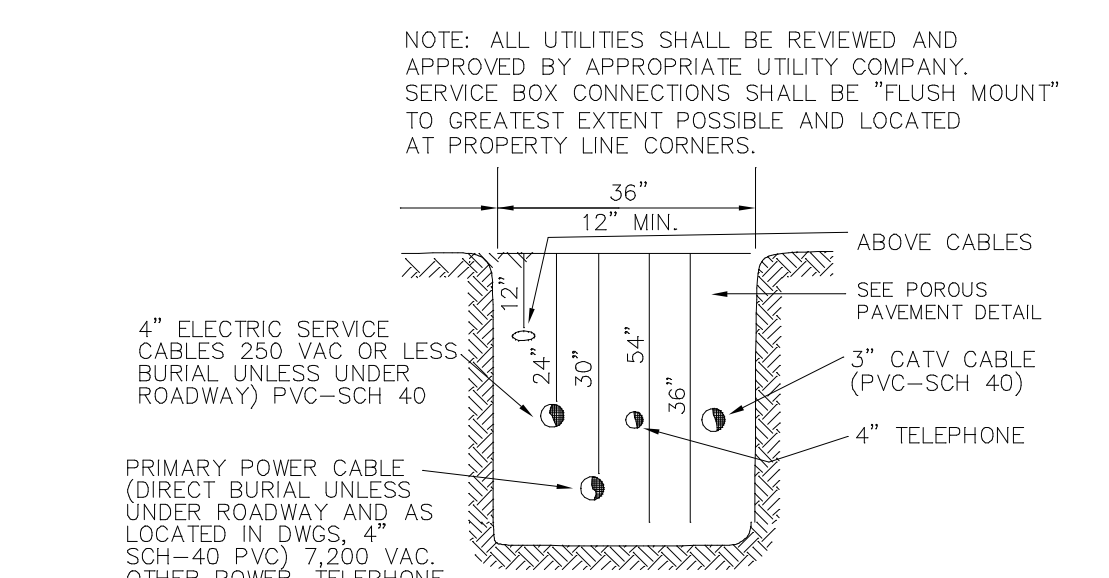
GAS TRENCH DETAIL



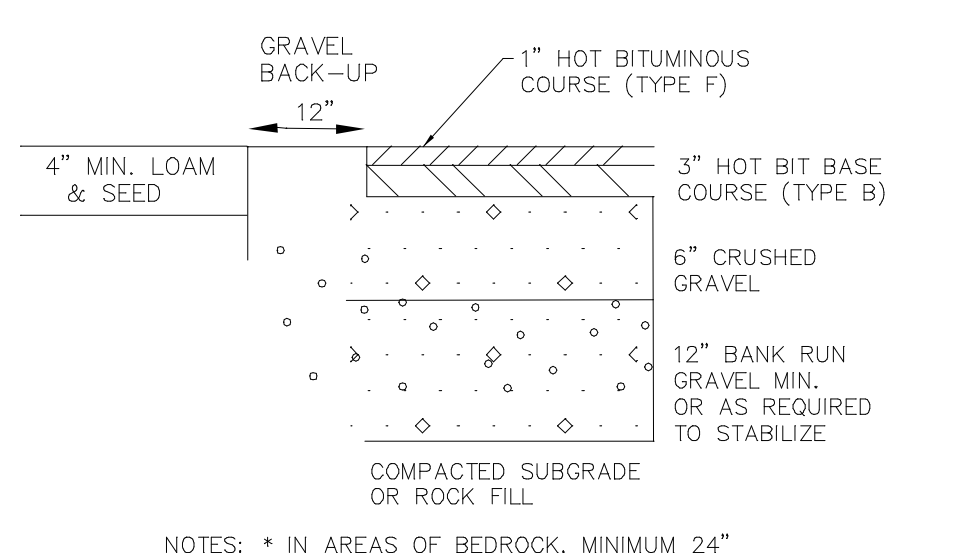
TYPICAL DRAINAGE TRENCH DETAIL



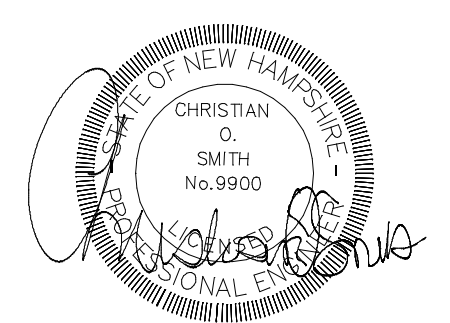
DUMPSTER SLAB DETAILS
N.T.S.



UTILITY TRENCH DETAIL



TYPICAL PAVEMENT SECTION
NEW ASPHALT



REVISED PER T.R.C. COMMENTS	8-17-21
REVISIONS:	DATE:

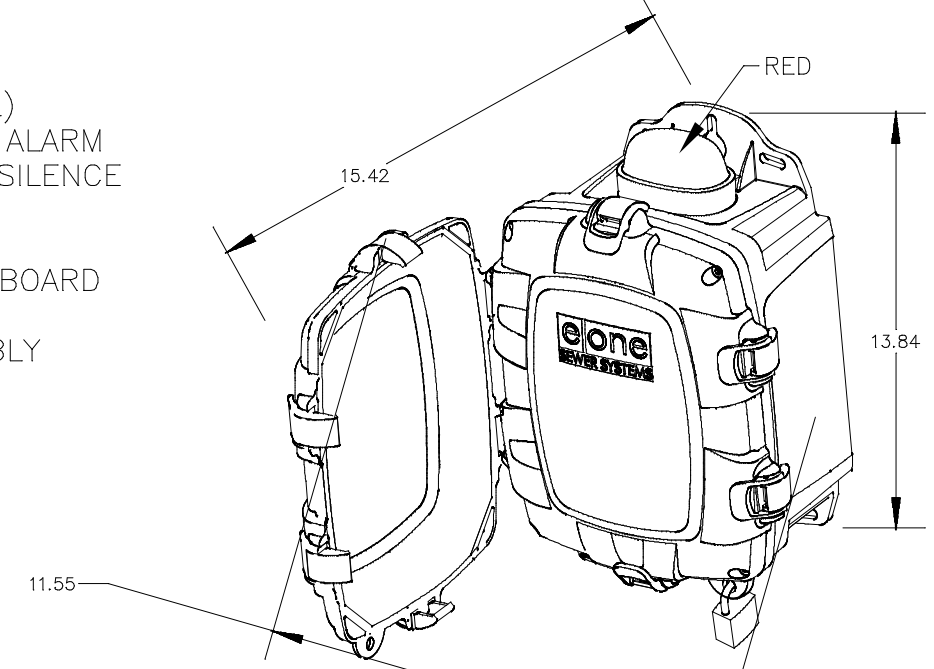
CONSTRUCTION DETAILS

PLAN FOR:
RESIDENTIAL DEVELOPMENT
32 CHARTER STREET
EXETER, NH

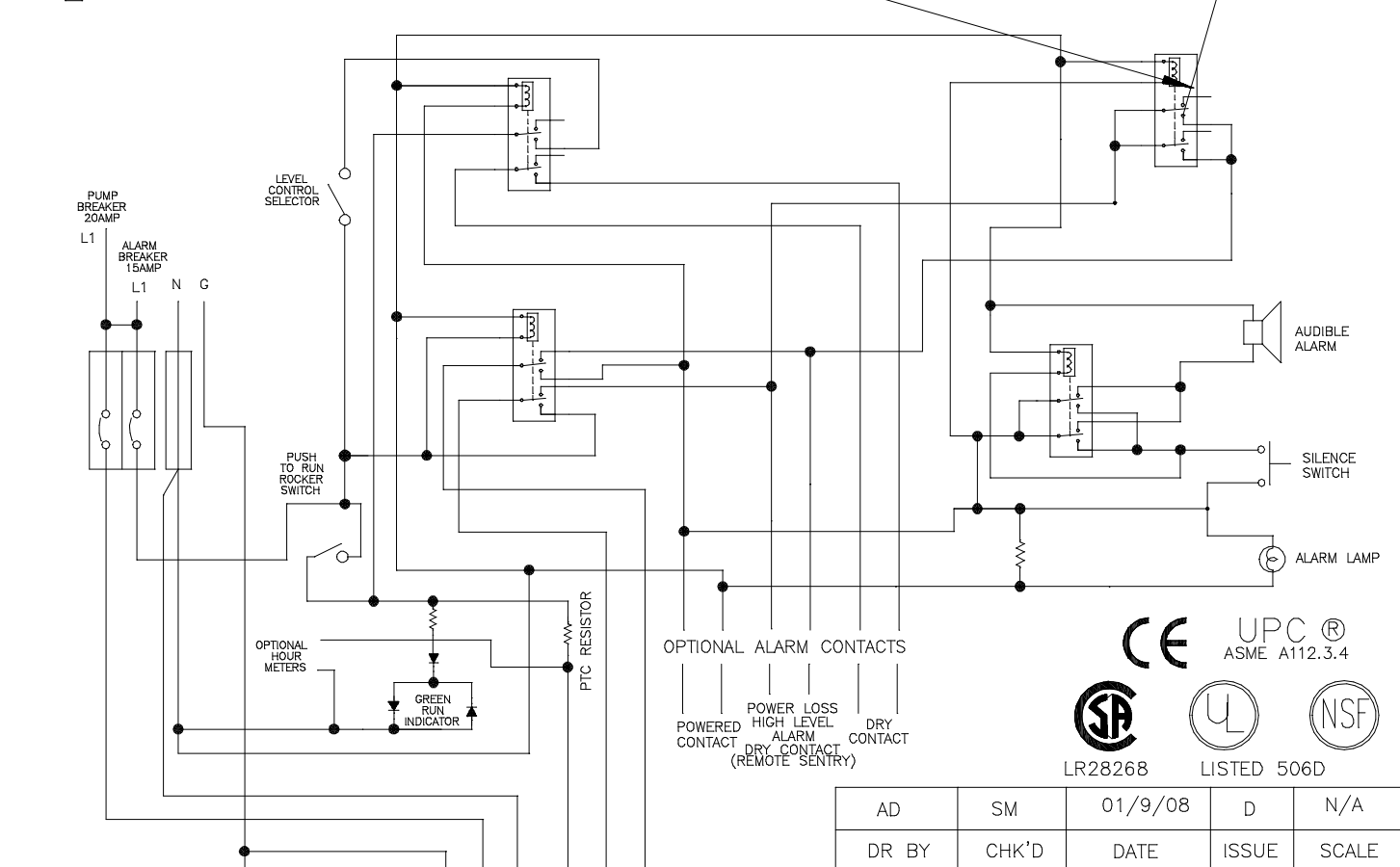
DATE: MAY, 2021	SCALE: NTS
PROJ. NO: NH-1333	SHEET NO. 5 OF 7

SIMPLEX SENTRY

- REDUNDANT RUN (HIGH LEVEL)
- EXTERNAL VISUAL & AUDIBLE ALARM
- EXTERNAL LATCHING MANUAL SILENCE
- MANUAL RUN
- PUMP RUN INDICATOR
- CONFORMAL COATED CIRCUIT BOARD
- PADLOCK
- NEMA 4X ENCLOSURE ASSEMBLY
- CORROSION PROOF THERMOPLASTIC
- POLYESTER APPROVED BY UL FOR ELECTRICAL CONTROL ENCLOSURE



- OPTIONS:**
- ALARM CONTACTS
 - OUR METER

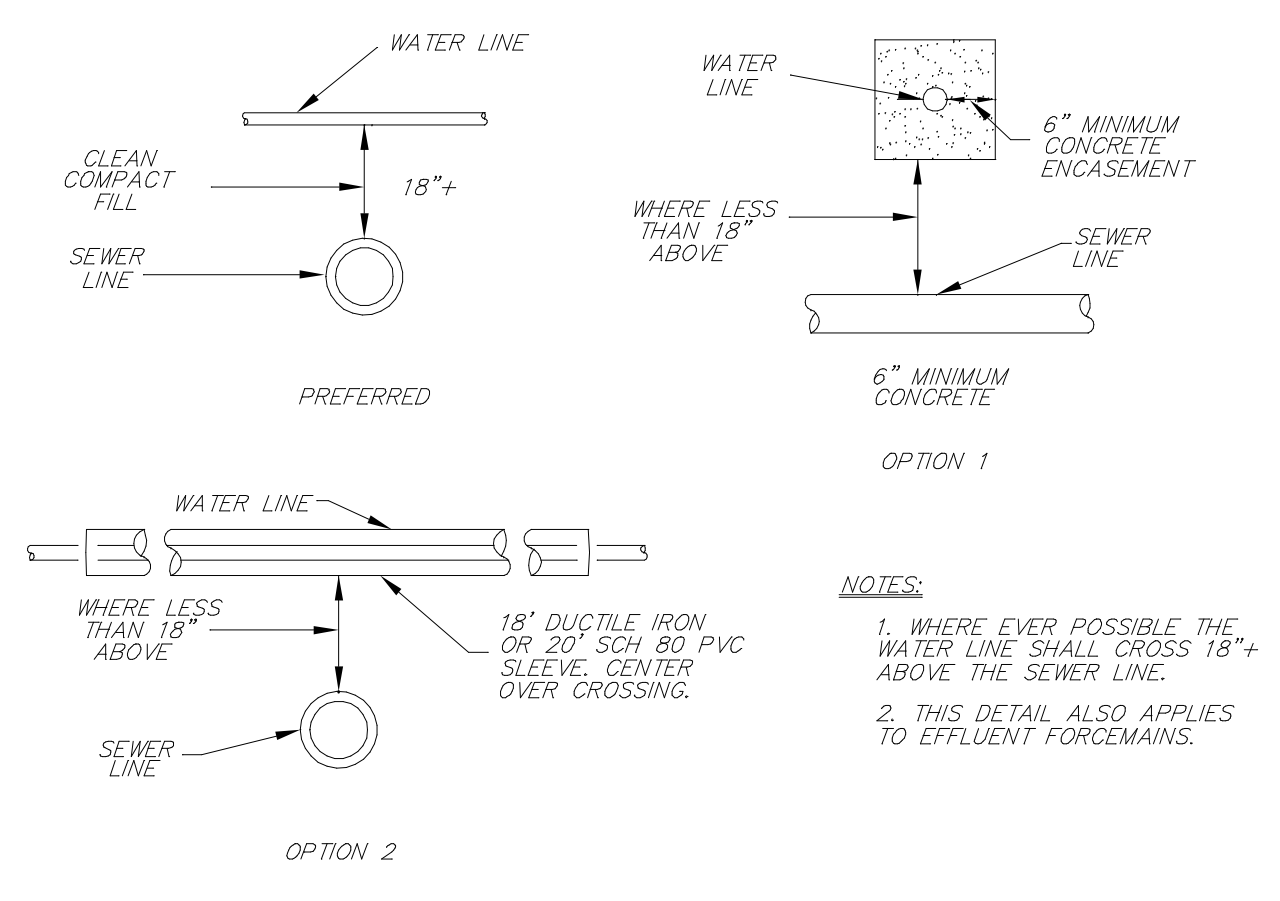


WIRE	FUNCTION	WIRE COLOR	EXTREME END COLOR
1	MANUAL RUN	BLACK	BROWN
2	LI	WHITE	RED
3	LI	WHITE	RED
4	ALARM FEED	ORANGE/YELLOW	
5	ALARM RETURN	BLUE	
6	ALARM RETURN	BLUE	

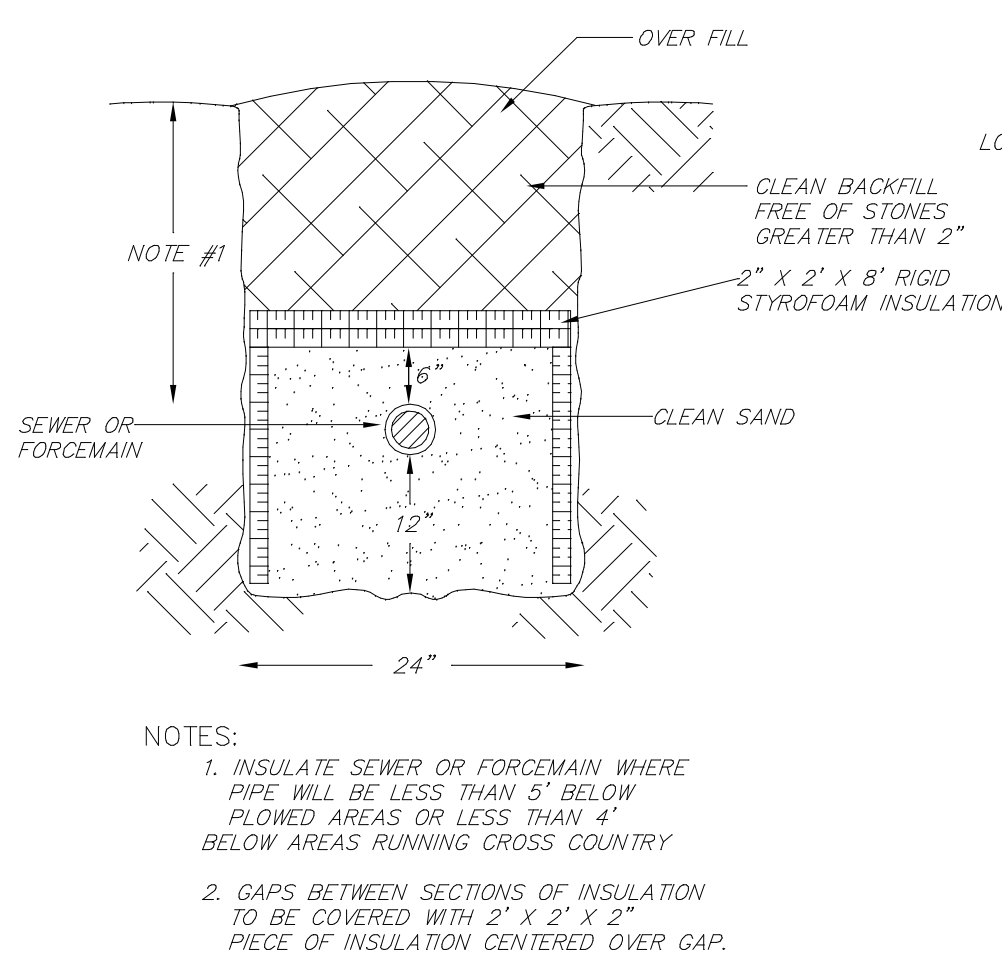
AD	SM	01/9/08	D	N/A
DR BY	CHK'D	DATE	ISSUE	SCALE

SEWER SYSTEMS
SIMPLEX SENTRY, 120V 60Hz.
SINGLE POLE POWER
LM000327

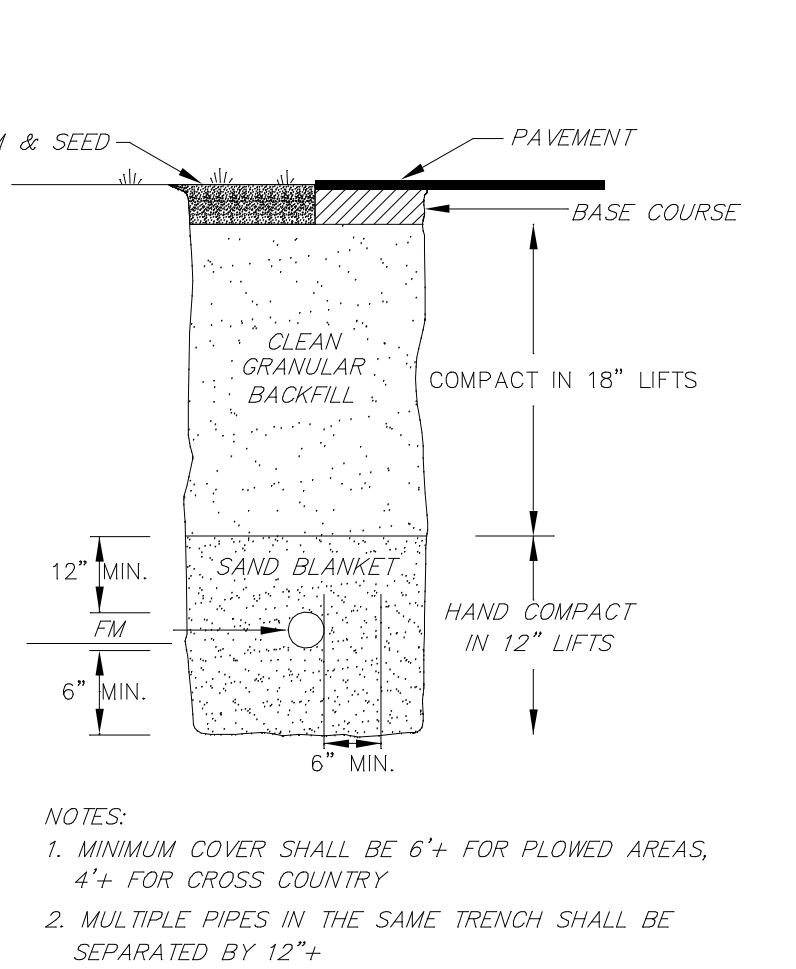
CONTROL CABLE:
TYPE TC; DIRECT BURIAL, 12AWG, SIX CONDUCTOR



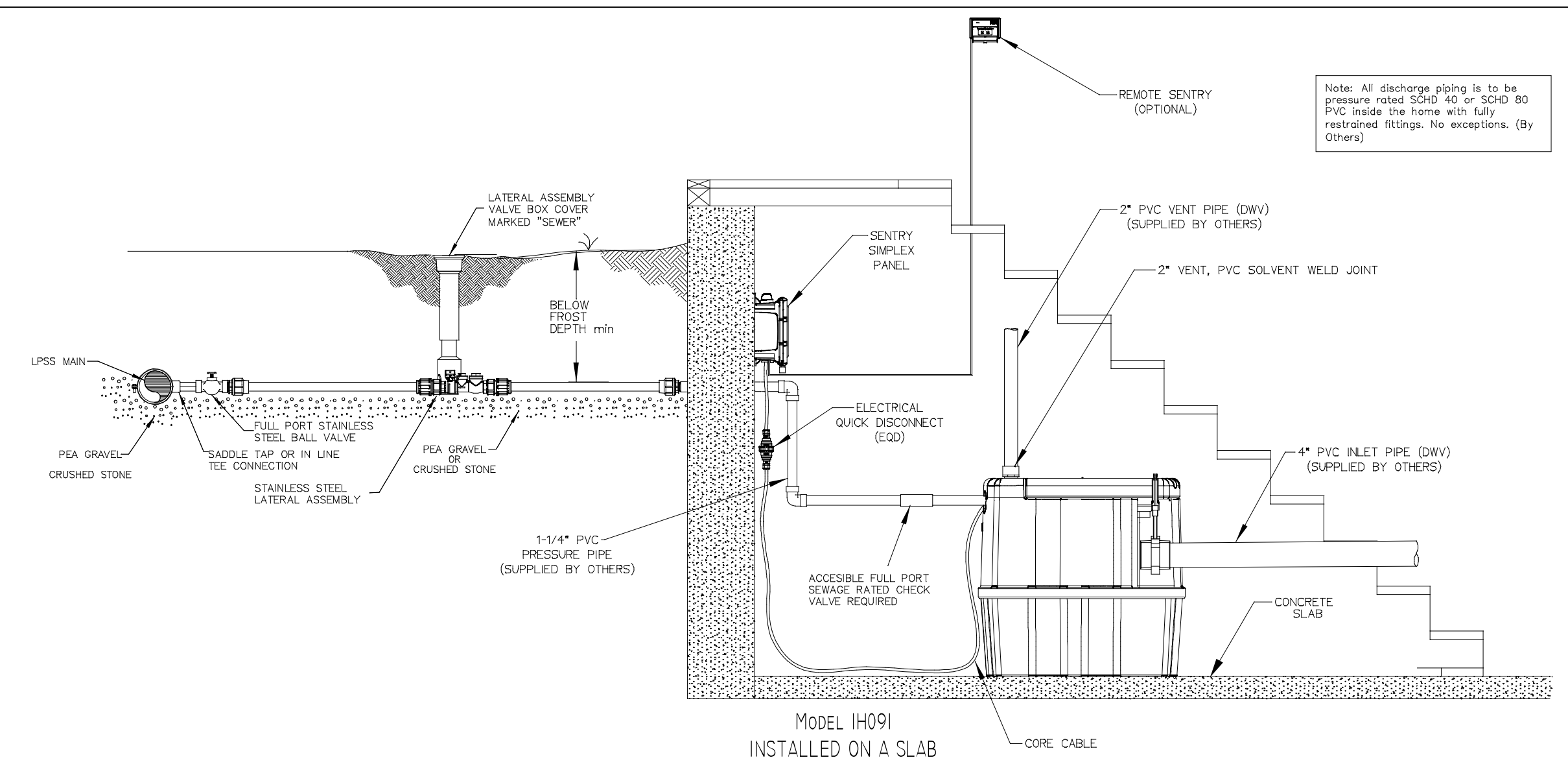
WATER / SEWER LINE CROSSING
NTS



PIPE INSULATION DETAIL
NTS



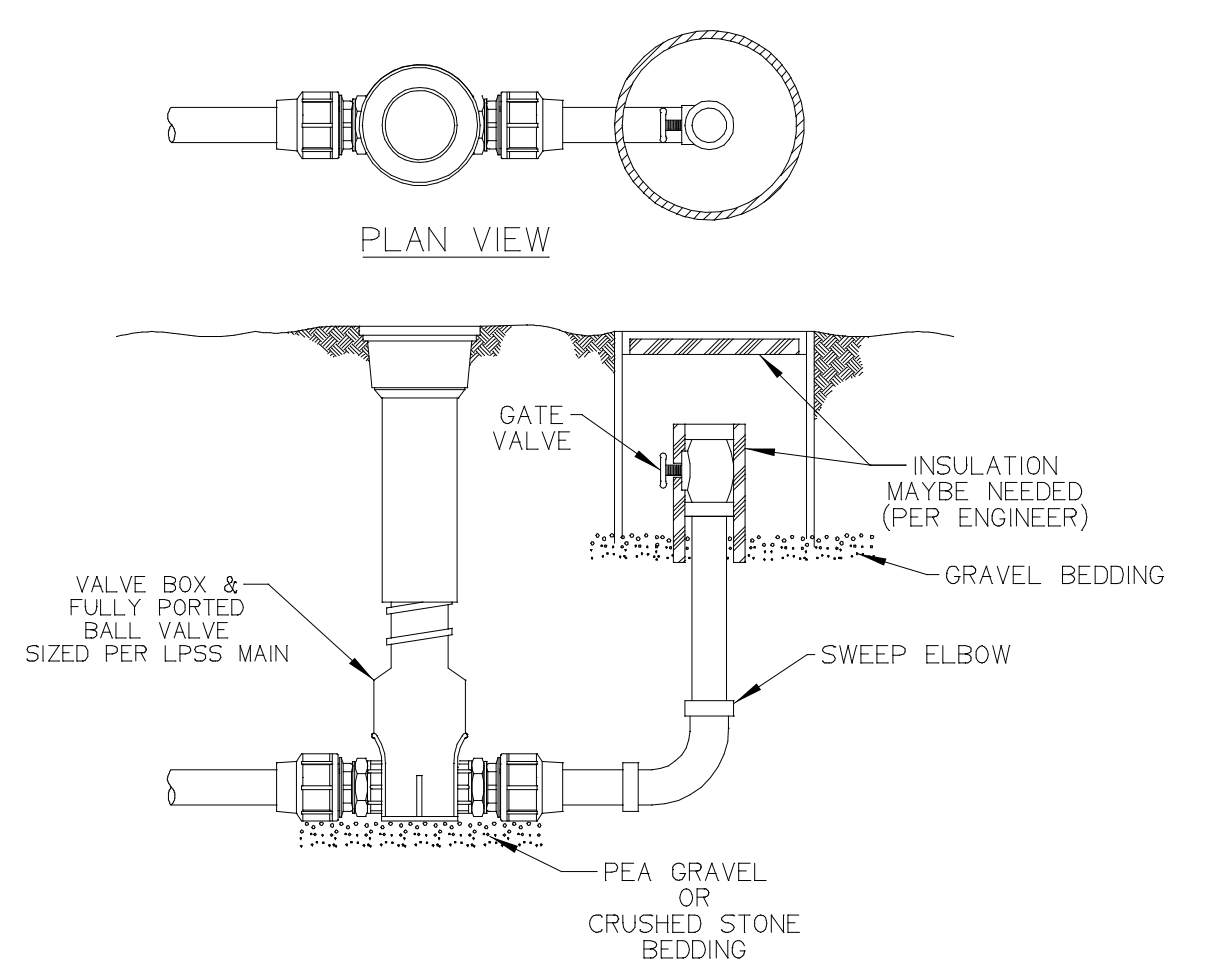
STANDARD TRENCH DETAIL
N.T.S.



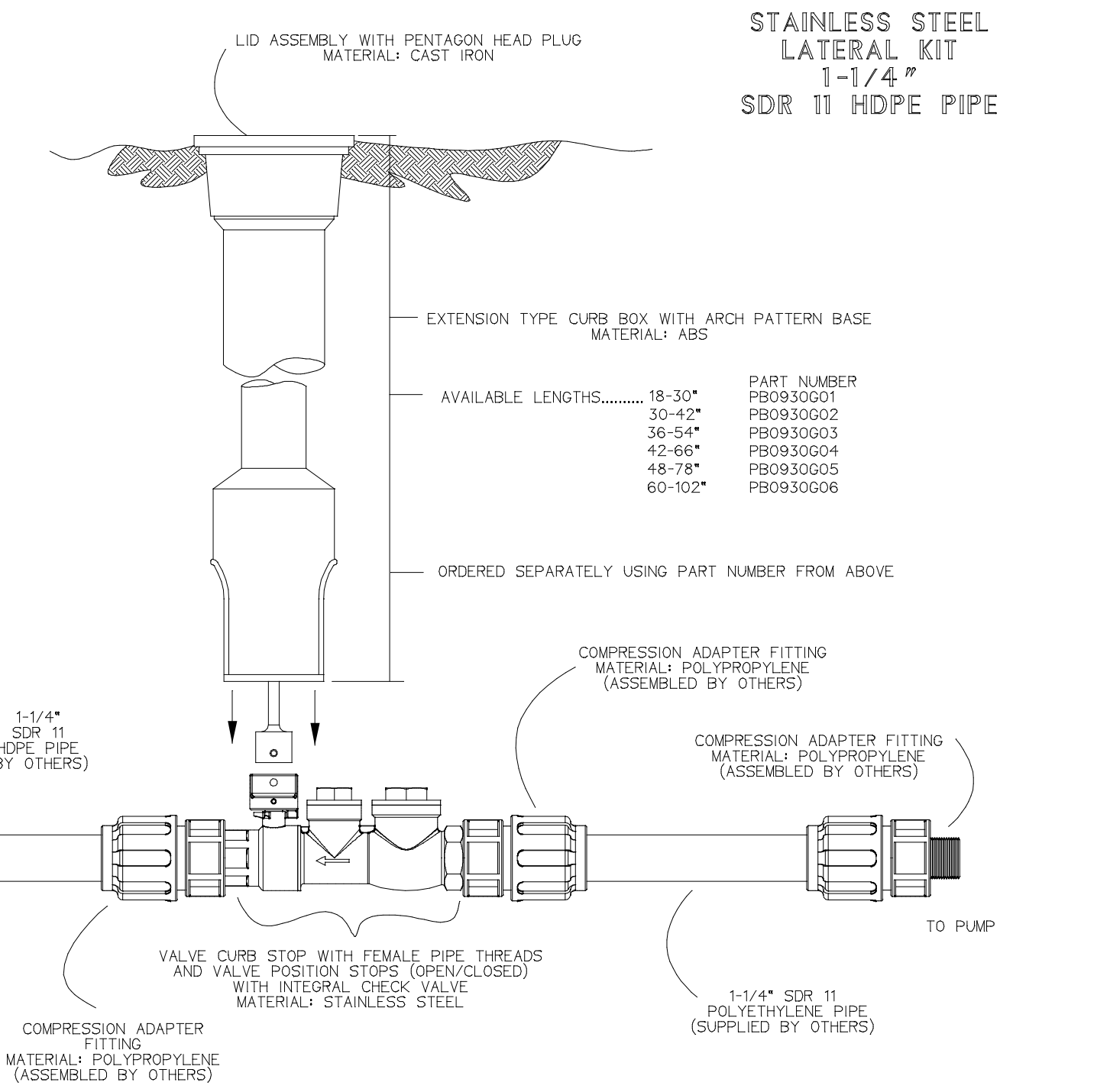
MODEL IH091 INSTALLED ON A SLAB

SSS	05-13-10	1	1/32
DR BY	CHK'D	DATE	ISSUE SCALE

eone SEWER SYSTEMS
TYPICAL TERMINAL FLUSHING CONNECTION
ESD 10-0094



TYPICAL TERMINAL FLUSHING CONNECTION



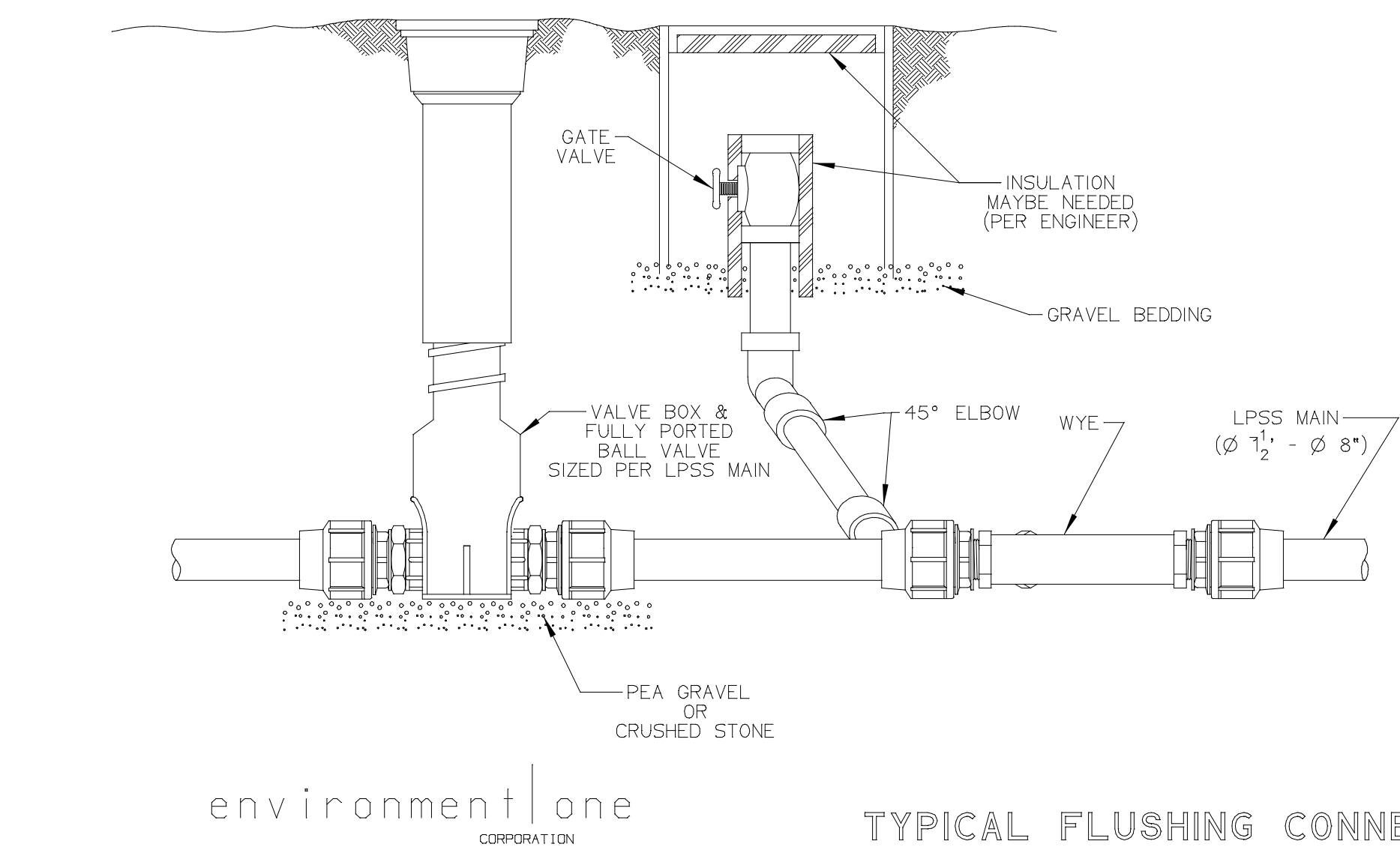
STAINLESS STEEL LATERAL KIT
1-1/4" SDR 11 HDPE PIPE

AVAILABLE LENGTHS	PART NUMBER
18-30"	PB0930001
30-42"	PB0930002
36-54"	PB0930003
42-66"	PB0930004
48-78"	PB0930005
60-102"	PB0930006

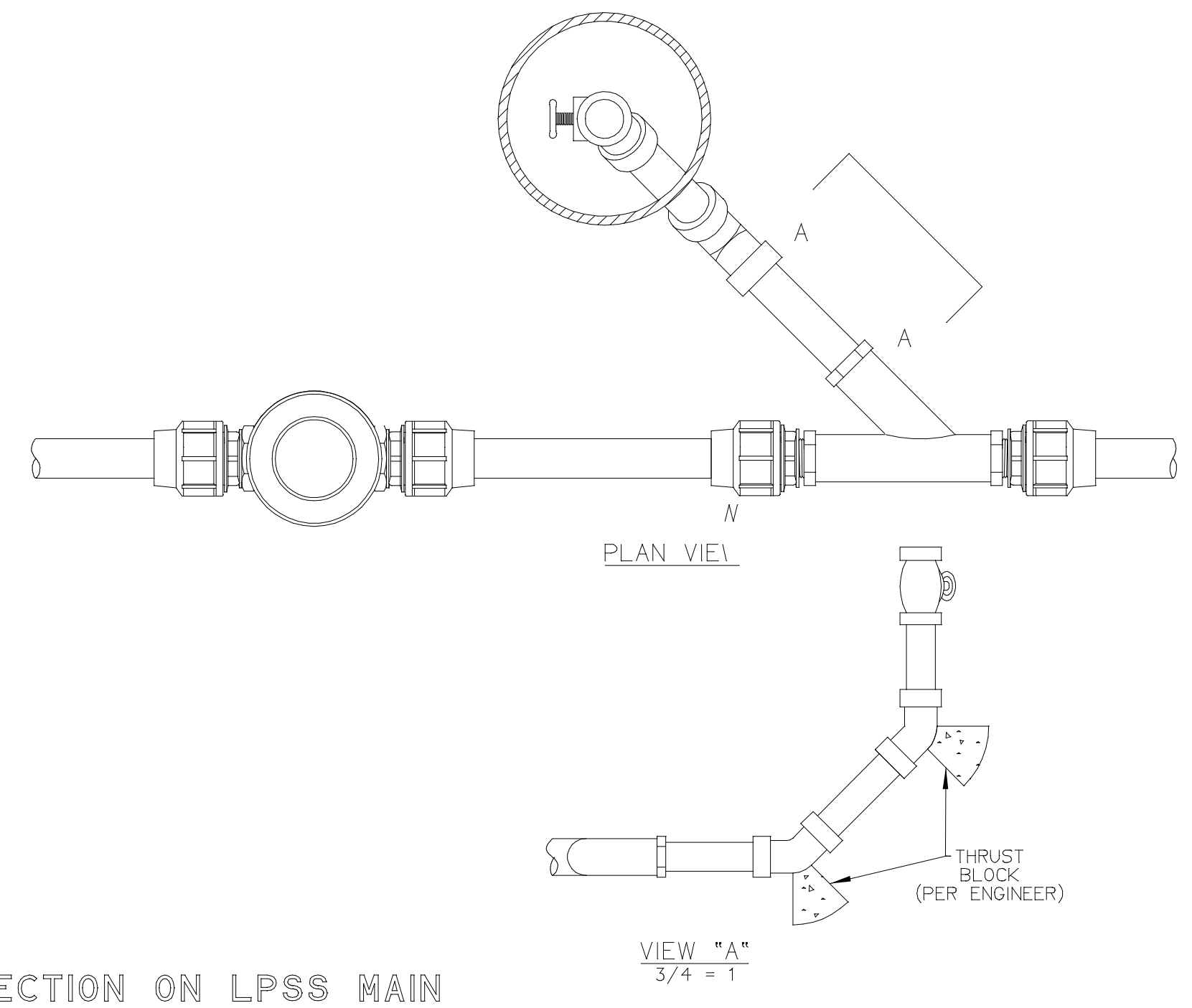
- NOTES:**
- SS CURB STOP/CHECK VALVE AND FITTINGS ARE PROVIDED SEPARATELY, TO BE ASSEMBLED BY OTHERS
 - TO ASSEMBLE, APPLY A DOUBLE LAYER OF TEFLON TAPE, AND A LAYER OF PIPE DOPE (SUPPLIED BY OTHERS) TO THE THREADS ON THE PLASTIC FITTINGS AND INSTALL PER THE MANUFACTURER'S INSTRUCTIONS
 - FOR SS FITTING INTO SS THREAD, USE PIPE DOPE OR TEFLON TAPE, NOT BOTH
 - ASSEMBLY IS TO BE PRESSURE TESTED (BY OTHERS)
 - ASSEMBLY IS TO BE USED WITH SDR11 HDPE PIPE
 - TO ORDER SS LATERAL KIT, USE PART NUMBER NC0193601
 - CURB BOX IS TO BE ORDERED SEPARATELY, SEE ABOVE

SSS	DN	11/02/11	B	3/16
DR BY	CHK'D	DATE	ISSUE	SCALE

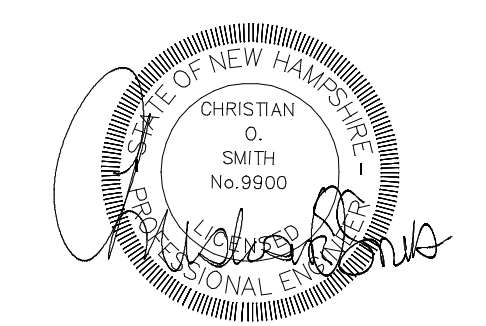
eone SEWER SYSTEMS
STAINLESS STEEL LATERAL KIT
1-1/4" SDR 11 HDPE PIPE
NA0330P02



TYPICAL FLUSHING CONNECTION ON LPSS MAIN



VIEW "A"
3/4" = 1"



REVISED PER T.R.C. COMMENTS	8-12-21
REVISIONS:	DATE:

EFFLUENT DISPOSAL DETAILS

PLAN FOR:
RESIDENTIAL DEVELOPMENT
32 CHARTER STREET
EXETER, NH

DATE: MAY, 2021	SCALE: NTS
PROJ. NO: NH-1333	SHEET NO. 6 OF 7

